



NOTE: SHADOWS SHOWN ON PERSPECTIVES ARE NOT SITE SPECIFIC. IT IS AN INDICATIVE REPRESENTATION OF THE BUILDING FORM.

CONSTRUCTION DETAILS

DETAIL DESCRIPTION	REFERENCE CODE
- OUTDOOR LIVING BRICK PIER EAVE DETAILS	- CAR-EAVE-BRICK PIER-01
- OUTDOOR LIVING POST EAVE DETAILS	- CAR-EAVE-TIMBER POST-02
- GARAGE DOOR DETAILS	- CAR-GARAGE DOOR-01
- GARAGE DOOR EAVE DETAILS	- CAR-GARAGE DOOR-02
- STANDARD SOFFIT/EAVE DETAILS	- CAR-SOFFIT/EAVE-03
- BATH SPECIFICATIONS AND BATH HOB DETAILS	- CAR-BATH-01
- NOGGINGS, MANHOLE & P.C.J. DETAILS	- CAR-NOGGINGS-01
- FACE BRICK SILL DETAILS	- BRI-FACE BRICK SILL-01
- EXTERNAL OPENING HEAD DETAILS	- BRI-OPENING HEAD-01
- RENDERED BRICK SILL DETAILS	- BRI-RENDER BRICK SILL-02
- BRICK ARTICULATION DETAILS	- BRI-ARTICULATION-01
- HOUSE CONCRETE SLAB FORMWORK & CONCRETE PLUMBING RECESS DETAILS	- CON-02
- SURFACE WATER GRATE DETAIL	- PLM-01
- DOWNPIPE/SEWER DETAILS	- PLM-DRAINAGE-01
- WET AREA ANGLE DETAILS	- REFER TO DETAIL PAGE
- OPEN SHOWER FLOOR RECESS DETAILS	- REFER TO DETAIL PAGE
- OVERHEAD CABINET DETAILS	- REFER TO DETAIL PAGE

STANDARD NOTES

- GENERAL**
- REFER SITE PLANS FOR BUILDING DESIGN WIND CLASSIFICATION.
 - ALL BUILDING WORKS ARE TO COMPLY WITH THE NCC VOLUME 2 2022.
 - WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.
 - FLOOR PLAN DIMENSIONS ARE TO FRAME.
 - INTERNAL ELEVATION DIMENSIONS ARE TO PLASTERBOARD.
 - THERE ARE NO ATYPICAL DESIGN FEATURES THAT PRESENT UNUSUAL WORKPLACE HEALTH & SAFETY ISSUES IN THE CONSTRUCTION, MAINTENANCE, USE, OR DEMOLITION OF THIS STRUCTURE.
- SITE & EARTHWORKS**
- SITE PREPARATION & BATTERS TO COMPLY WITH ENGINEER'S SPECIFICATIONS
 - ALL LEVELS TO BE VERIFIED ON SITE BY CONTRACTOR.
 - STORMWATER FROM ROOF TO BE CONNECTED TO LEGAL POINT OF DISCHARGE AS PER SITE PLAN. WHERE DISCHARGE IS TO KERB, AN APPROVED ADAPTOR MUST BE USED.

- TERMITE**
- TERMITE PROTECTION INSTALLED IN ACCORDANCE WITH AS3660.1.

- SLAB & FOOTINGS**
- CONCRETE SLAB, PIERS AND REINFORCING TO COMPLY WITH ENGINEERS DESIGN AND SPECIFICATIONS.
 - VAPOUR BARRIER AND DAMP-PROOFING ON A MINIMUM 50mm SAND FILL UNDER HOUSE SLAB (QLD - MEDIUM IMPACT RESISTANCE IN ACCORDANCE WITH 5.3.3.3. ITEM 'A' OF AS2870) (NSW - HIGH IMPACT RESISTANCE IN ACCORDANCE WITH 5.3.3.3 ITEM 'B' & 'C' OF AS2870).

- FRAMING**
- ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH NCC H1D6 & TO COMPLY WITH AS1684.2-2021 (N2/N3/N4 WIND RATING AREAS) & AS1684.3-2021 (C1/C2 WIND RATING AREAS).
 - PREFAB. TIMBER ROOF TRUSSES @ 600mm MAX. CENTRES TO MANUFACTURER'S SPECIFICATIONS.
 - ALL BRACING, FIXING & TIEDOWN REQUIREMENTS TO COMPLY WITH ENGINEER'S DESIGN AND SPECIFICATIONS.

- ROOF & WALL CLADDING**
- BRICK VENEER WALLS TO COMPLY WITH NCC H1D1 & MUST COMPLY WITH AS4773.1, AS4773.2 & AS3700.
 - ALL EAVE SHEETS AND FIBRE CEMENT LININGS MUST COMPLY WITH AS2908.2.
 - PLASTERBOARD TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
 - ROOF AND WALL CLADDING TO BE IN ACCORDANCE WITH NCC H2D6 & MUST COMPLY WITH THE FOLLOWING STANDARD WHEN APPLICABLE (SHEET ROOF:AS1562.1 / ROOF TILING:AS2050 / AAC:AS5146.1 / HARDBOARD:AS1859.4).
 - ALL FLASHINGS MUST COMPLY WITH AS2904.
 - ALL SARKING MUST COMPLY WITH AS4200.1.

- GLAZING**
- WINDOWS TO COMPLY WITH NCC N5P2 & PART 11.3.7 & 11.3.8 OF THE ABCB HOUSING PROVISIONS.
 - GLAZING TO BE IN ACCORDANCE WITH NCC H1D8 & MUST COMPLY WITH AS1288 & AS2047.

- WATER PROOFING**
- WATER PROOFING IS TO BE IN ACCORDANCE WITH NCC H4D1 & PART 10.2 OF THE ABCB HOUSING PROVISIONS.
 - WHERE FLOOR WASTES ARE PROVIDED, FLOOR GRADES ARE MINIMUM 1:80 AND MAXIMUM 1:50 IN ACCORDANCE WITH PART 10.2.12 OF THE ABCB HOUSING PROVISIONS.
 - EXTERNAL WATERPROOFING TO BE IN ACCORDANCE WITH NCC PART H2D8 & MUST COMPLY WITH AS4654.1 & AS4654.2.
 - TILED WET AREA FLOORS AND SHOWER FLOORS WHERE A 'FLOOR WASTE' IS REQUIRED, WILL GENERALLY REQUIRE TILES TO BE DIAGONALLY CUT TO ACHIEVE COMPLIANT FALLS.

- VENTILATION**
- EXHAUST FAN TO WC (WHEN APPLICABLE) TO COMPLY WITH NCC H4D9 & AS1668.2.
 - EXHAUST FANS, RANGEHOODS, COMBINATION EXHAUST FANS ARE DUCTED EXTERNALLY AT A MINIMUM RATE IN ACCORDANCE WITH NCC H4P7 & PART 10.8 OF THE ABCB HOUSING PROVISIONS.

- STAIRS & BALUSTRADE (WHEN APPLICABLE)**
- ALL STAIRS, BARRIERS, BALUSTRADES & HANDRAILS TO BE IN ACCORDANCE WITH NCC H5 & PART 11.2 & 11.3 OF THE ABCB HOUSING PROVISIONS & MUST COMPLY WITH AS1170.1 & AS4586.

- OTHER**
- PASSAGE DOORS TO SANITARY COMPARTMENTS TO BE IN ACCORDANCE WITH NCC H4F3 PART 10.4.2 OF THE ABCB HOUSING PROVISIONS.
 - BUILT TO BOUNDARY WALLS TO BE BUILT IN ACCORDANCE WITH NCC H3D1 AND PARTS 9.1 TO 9.3 OF THE ABCB HOUSING PROVISIONS & AS1530. SEPARATING & EXTERNAL WALLS TO BE BUILT TO FRL 60/60/60 (WHERE APPLICABLE).
 - PROVIDE MINIMUM 115mm SLOTTED GUTTER TO SUIT MAX 40m2 OF ROOF AREA PER DOWNPIPE.
 - SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC H3D6 & PART 9.5 OF THE ABCB HOUSING PROVISIONS & MUST COMPLY WITH AS3786 & AS1670.1.
 - FLUES FOR ALL FIREPLACES & HEATERS (WHERE APPLICABLE) ARE TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS AND PART 12.4 OF THE ABCB HOUSING PROVISIONS.

- STEEL FRAMING (WHEN APPLICABLE)**
- ALL STEEL FRAMING TO BE IN ACCORDANCE WITH NCC H1P1 & TO COMPLY WITH AS4100-2020, AS4055-2021, AS1170.0-2002, AS 1170.1-2002 & AS/NZS 4600-2018.
 - PREFAB. STEEL ROOF TRUSSES @ 1200mm CENTERS FOR SHEET ROOF & 600mm CENTERS FOR TILED ROOF UP TO N2/N3.
 - PREFAB. STEEL ROOF TRUSSES 600mm CENTERS FOR SHEET ROOF UP TO N4.
 - PREFAB. STEEL ROOF TRUSSES 600mm CENTERS FOR TILED ROOF UP TO N2/N3.
 - INTERNAL & EXTERNAL TRUSS & INTERMEDIATE CEILING JOISTS ARE TO BE SPACED @MAX 600mm CENTERS.

CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE
PANANIA NSW 2213

DESIGN BOSTON 38

FACADE HAMPTONS BALCONY

PLAN COVER PAGE

REVISION SCHEDULE

DATE	REV	DRW	CHK
16/09/2022	CONTRACT	PG09	CSD
17/04/2023	VO3	KTR	
03/05/2023	VO2	CHO	
19/05/2023	VO4	CHO	
29/05/2023	VO5	KCE	
01/06/2023	BASIX	TSM	
16/06/2023	PERMITS	CDR	
04/07/2023	VO6	CLA	
25/07/2023	VO7	NPA	

BUILDING AREA
SYDNEY
DESIGNER SPECIFICATION

FINAL SIGNED COPY

I / WE ACCEPT THAT THESE PLANS ARE THE FINAL WORKING DRAWINGS THAT SUPERSEDED PRELIM PLANS & I / WE HAVE CHECKED THAT ANY ALTERATIONS OR ADDITIONS ARE SHOWN. THESE PLANS ALSO FORM PART OF OUR CONTRACT BETWEEN THE PROPRIETOR & CORAL HOMES.

PROPRIETOR SIGNATURE PROPRIETOR SIGNATURE

BUILDERS SIGNATURE

CORAL HOMES

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N2

APPROX. POSITION OF FUTURE POOL BY OWNERS. EXCAVATION TO BE MIN. 1800mm FROM HOUSE FOUNDATIONS. TO BE INSTALLED AFTER SITE CUT OF HOUSE. OWNER TO PROVIDE A POOL COMPLIANT STRUCTURAL PLATFORM SUITABLE FOR USE AS A WORK PLATFORM OVER THE ENTIRE POOL FOR THE ENTIRE DURATION OF CONSTRUCTION. KEEP ALL PIPES CLEAR. (NOT PART OF THIS APPLICATION)

LANDSCAPE AREA (BY OWNER) (MIN.153m2)

CONCRETE SLEEPER RETAINING WALL AS NOMINATED BY OWNER. SUBJECT TO ENGINEERS DETAILS & LOCAL AUTHORITY RESTRICTIONS.
-600H AT MAX. CUT POINT BASED ON APPROX. 869 FROM INSIDE FACE OF WALL TO BRICKWORK (A)
-APPROX. 350 FROM INSIDE FACE OF WALL TO BOUNDARY (B)
-ALL WORKS BY OWNER.

PLEASE NOTE: RETAINING WALL HEIGHTS TO BE CONFIRMED BY OWNER AFTER SITE CUT. PLEASE NOTE: SHOULD DISTANCE (A) BE REDUCED DUE TO THE STRUCTURAL THICKNESS OF THE WALL ETC. ALL ADDITIONAL SITE MANAGEMENT COSTS WILL BE CHARGED TO OWNER BY WAY OF VARIATION TO CONTRACT.

BUILDING ENVELOPE

CONCRETE SLEEPER RETAINING WALL AS NOMINATED BY OWNER. SUBJECT TO ENGINEERS DETAILS & LOCAL AUTHORITY RESTRICTIONS.
-600H AT MAX. FILL POINT BASED ON APPROX. 969 FROM INSIDE FACE OF WALL TO BRICKWORK (A)
-APPROX. 250 FROM INSIDE FACE OF WALL TO BOUNDARY (B)
-ALL WORKS BY OWNER.

PLEASE NOTE: RETAINING WALL HEIGHTS TO BE CONFIRMED BY OWNER AFTER SITE CUT. PLEASE NOTE: SHOULD DISTANCE (A) BE REDUCED DUE TO THE STRUCTURAL THICKNESS OF THE WALL ETC. ALL ADDITIONAL SITE MANAGEMENT COSTS WILL BE CHARGED TO OWNER BY WAY OF VARIATION TO CONTRACT.

SEWER LINE LOCATION

APPROX. SEWER CONNECTION POINT

HENDY

BENCHMARK
NAIL IN TOP KER
R.L. = 17.88

DP 25715³

DP 25715²

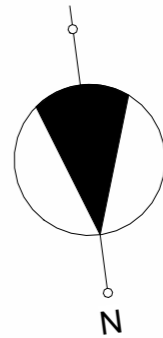
DP 26037³¹

DP 25715²

PROPOSED
RESIDENCE

AVENUE

PROVIDE AND MAINTAIN SEDIMENT CONTROL DEVICES IN ACCORDANCE WITH COUNCIL'S DCP PART E1 - DEMOLITION AND CONSTRUCTION, AND AROUND INLET PITS AND SOIL STOCKPILE. REFER DETAILS SHEET 3.
*DO NOT STOCK PILE MATERIALS ON PUBLIC FOOTWAYS AND ROADWAYS.
*REMOVE ALL SOIL & OTHER MATERIALS WHICH HAVE BEEN SPILT ONTO PUBLIC FOOTWAYS, GUTTERS & ROADWAYS WITH A SHOVEL AND BROOM AT THE END OF EACH DAYS WORK.
*PROVIDE TOPSOIL & RE-TURF ALL DISTURBED OR DAMAGED GRASS AREAS.



NOTE: - SEDIMENT FENCE TO OUTSIDE OF FILL

NOTE: - SEDIMENT FENCE

NOTE: - DENOTES 250 X 250 SURFACE WATER GRATE CONNECTED TO SEPARATE STORMWATER PIPE
SWG

NOTE: - DENOTES 100mm DIA P.V.C STORMWATER PIPE

NOTE: - EARTHERN SPOON DRAIN

NOTE: - USE TEMPORARY DOWNPIPES

NOTE: - TEMPORARY FENCING

NOTE: - CLAMP ON TEMP. FENCING

NOTE: - SURFACE WATER GRATES TO BE LOCATED TO CENTRE OF SPOON DRAIN

NOTE: - PLACE FILL AROUND THE PERIMETER OF THE CONCRETE SLAB (IMMEDIATELY FOLLOWING SLAB POUR) TO DIVERT WATER AWAY FROM FOUNDATIONS.

NOTE: - ROOF WATER CATCHMENT AREA

3000L STEEL SLIMLINE ABOVE GROUND WATER TANK. 1 x DROPPER'S 4 x DOWNPIPE'S COLLECTING 80 m² OF ROOF WATER INTO TANK. TANK OVERFLOW DISCHARGED TO STORMWATER SYSTEM. TANK ON STRUCTURAL CONC. SLAB.

CONCRETE SLEEPER RETAINING WALL AS NOMINATED BY OWNER. SUBJECT TO ENGINEERS DETAILS & LOCAL AUTHORITY RESTRICTIONS.
-600H AT MAX. CUT POINT BASED ON APPROX. 2550 FROM INSIDE FACE OF WALL TO BRICKWORK (A)
-APPROX. 350 FROM INSIDE FACE OF WALL TO BOUNDARY (B)
-ALL WORKS BY OWNER.

PLEASE NOTE: RETAINING WALL HEIGHTS TO BE CONFIRMED BY OWNER AFTER SITE CUT. PLEASE NOTE: SHOULD DISTANCE (A) BE REDUCED DUE TO THE STRUCTURAL THICKNESS OF THE WALL ETC. ALL ADDITIONAL SITE MANAGEMENT COSTS WILL BE CHARGED TO OWNER BY WAY OF VARIATION TO CONTRACT.

AIRCON SLAB FLOOR TRAP CONNECTED TO SURFACE WATER GRATE LINE

COMPACT WALL MOUNTED CLOTHESLINE

POWER CONNECTION POINT

WATER CONNECTION POINT

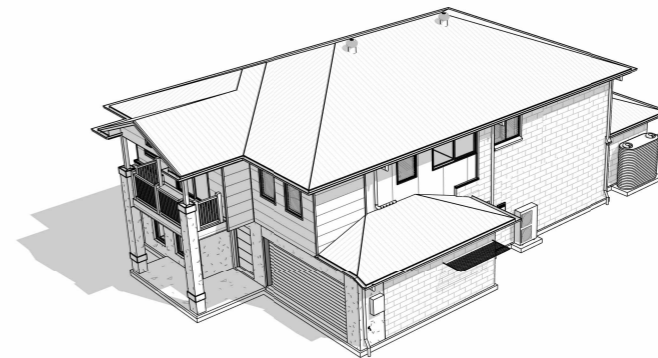
COMMS CONNECTION POINT

55 m² APPROX. POSITION OF REINFORCED EXTERNAL BROOM FINISHED CONCRETE DRIVEWAY AND PORCH BY CORAL HOMES. ALL WORKS TO SUIT COUNCIL REQUIREMENTS. REFER DETAILS SHEET 3.

TREE TO BE REMOVED BY OWNER

STORMWATER DISCHARGE TO ROOFWATER OUTLET

EXISTING DRIVEWAY TO BE REMOVED BY OWNER



CONTOUR

CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE
PANANIA NSW 2213

DESIGN

BOSTON 38

FACADE

HAMPTONS BALCONY

PLAN

SITE

SITE COST OPTION: 16/09/2022

SURVEYOR NO: 22392

PROPERTY DESCRIPTION

ON: DP 26037

LOCAL AUTH: CANTERBURY BANKSTOWN
CITY COUNCIL

AREAS

LAND	SITE COVERAGE
495.4 m ²	41.36%

SITEWORKS

NOTE: PLATFORM HEIGHT & RETAINING CAN VARY DUE TO SITE CONDITIONS

CUT: 0.60

PAD AHD: 19.050

FILL: 0.60

SLAB AHD: 19.375

CRITICAL PAD LEVEL

☒ NO ☐ YES

CONDITIONED AREAS

	Area (m ²)
CONDITIONED AREA (LOWER)	126.24
UNCONDITIONED AREA (LOWER)	4.42
CONDITIONED AREA (UPPER)	138.62
UNCONDITIONED AREA (UPPER)	5.54

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PROPRIETOR
SIGNATURE

PROPRIETOR
SIGNATURE

BUILDERS SIGNATURE

CORAL HOMES

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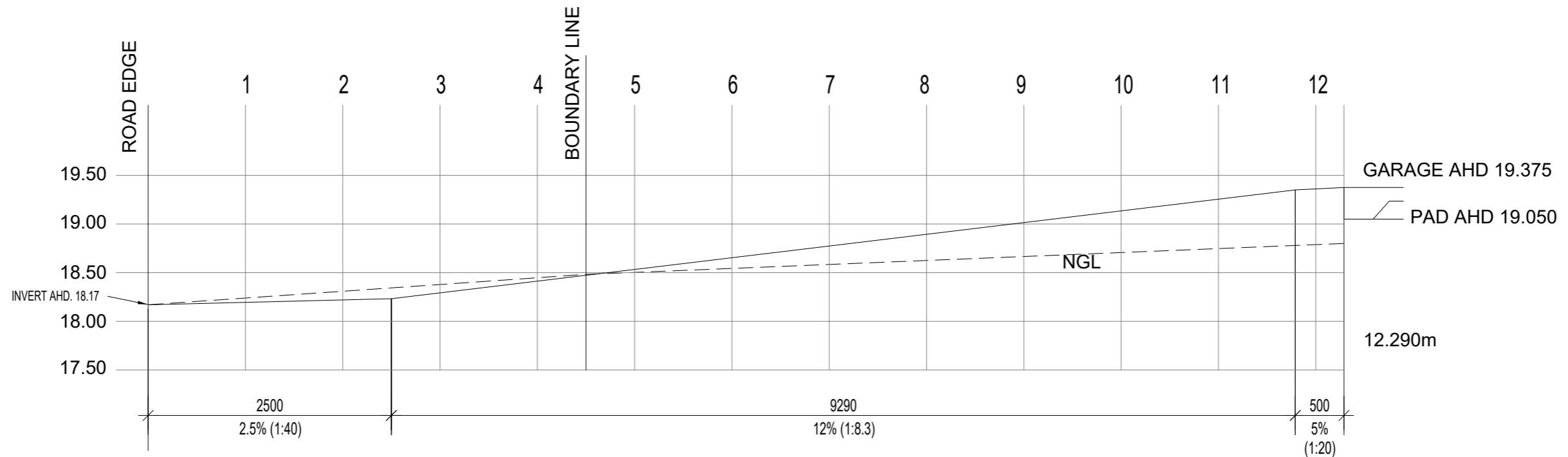
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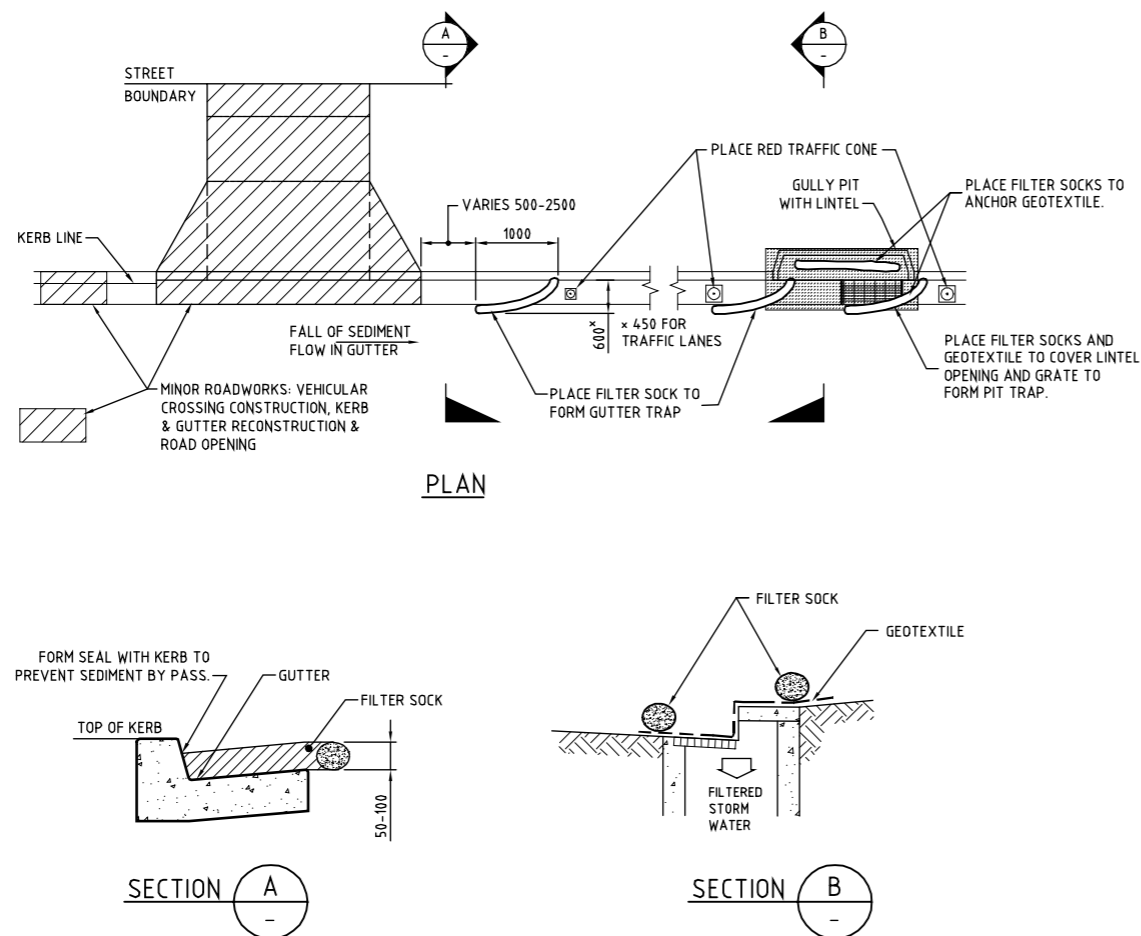
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DRIVEWAY LONGITUDINAL CROSS SECTION

STANDARD SEDIMENT TRAP FOR ROADWORKS



NOTES:

1. SEDIMENT GUTTER AND PIT TRAPS ARE TO BE PLACED AS REQUIRED DOWNSTREAM OF ROADWORKS TO PREVENT POLLUTANTS FROM THE WORKSITE ENTERING THE STREET DRAINAGE SYSTEM.
2. TRAPS TO BE INSTALLED PRIOR TO ANY EXCAVATION OR COMMENCEMENT OF WORK.
3. PLACE ADDITIONAL GUTTER TRAPS IN A ROW IF SEDIMENT IS BYPASSING FIRST TRAP WITH DUE ALLOWANCE FOR PARKING SPACES.
4. PLACE FILTER SOCK AND GEOTEXTILE FULLY OVER PITS IF SEDIMENT IS BY PASSING GUTTER TRAPS.
5. GEOTEXTILE COVERING PITS TO BE NON WOVEN NEEDLE PUNCHED POLLYESTER, UV TREATED EQUIVALENT TO BIDIM A14.
6. SEDIMENT FILTER SOCK FABRIC TO BE NON WOVEN NEEDLE PUNCHED POLYESTER, UV TREATED EQUIVALENT TO BIDIM A44.
7. FILTER SOCKS TO BE FILLED WITH COARSE SAND OR GRAVEL TO ALLOW FLOW THROUGH THE FILLED SOCK.
8. TRAPPED SEDIMENT IS TO BE CLEANED OUT REGULARLY BY SHOVELING & DISPOSED OF.
9. SAND BAGS OR HAY BALES ARE NOT TO BE USED.
10. CONCRETE WASH DOWN AND SEDIMENT IS NOT TO BE PUT IN THE GUTTER OR PITS.
11. SEDIMENTATION AND EROSION CONTROLS ARE TO BE IN ACCORDANCE WITH COUNCIL'S DCP PART E1 DEMOLITION AND CONSTRUCTION.
12. THIS STANDARD IS APPLICABLE TO ALL ROADWORKS SUCH AS VEHICULAR CROSSING CONSTRUCTION, KERB & GUTTER RECONSTRUCTION & ROAD OPENING RESTORATION.
13. ALL DIMENSIONS ARE IN MILLIMETRES.

CLIENT	DESIGN
K. J. SHARAN & S. W. WISE	BOSTON 38
ADDRESS	FACADE
LOT 32 HENDY AVENUE PANANIA NSW 2213	HAMPTONS BALCONY
	PLAN
	DRIVEWAY LAYOUT

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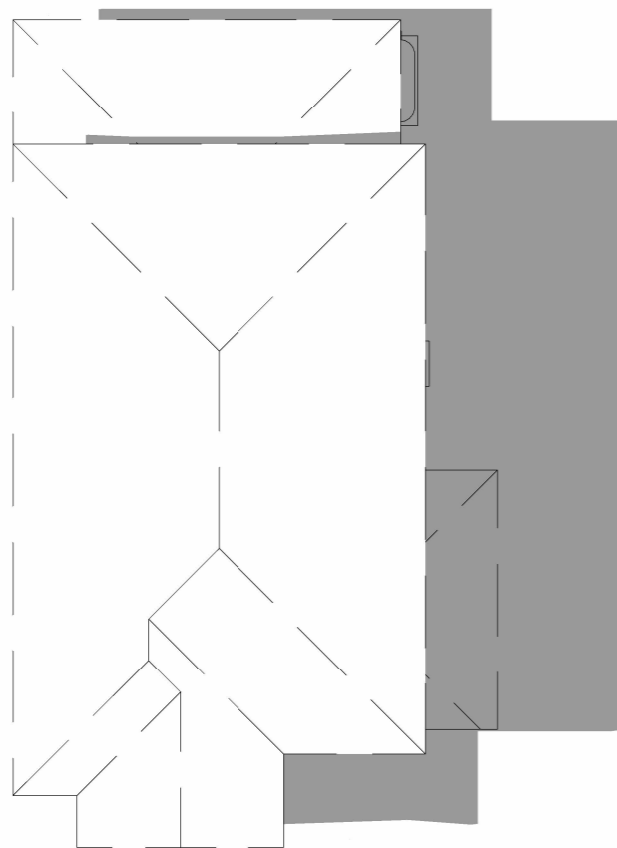
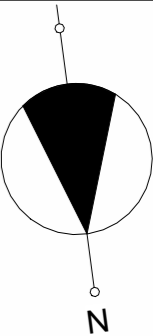
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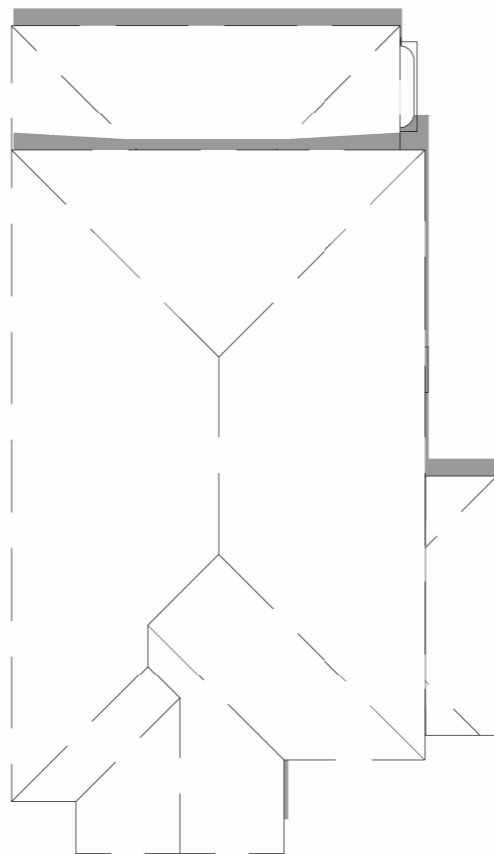
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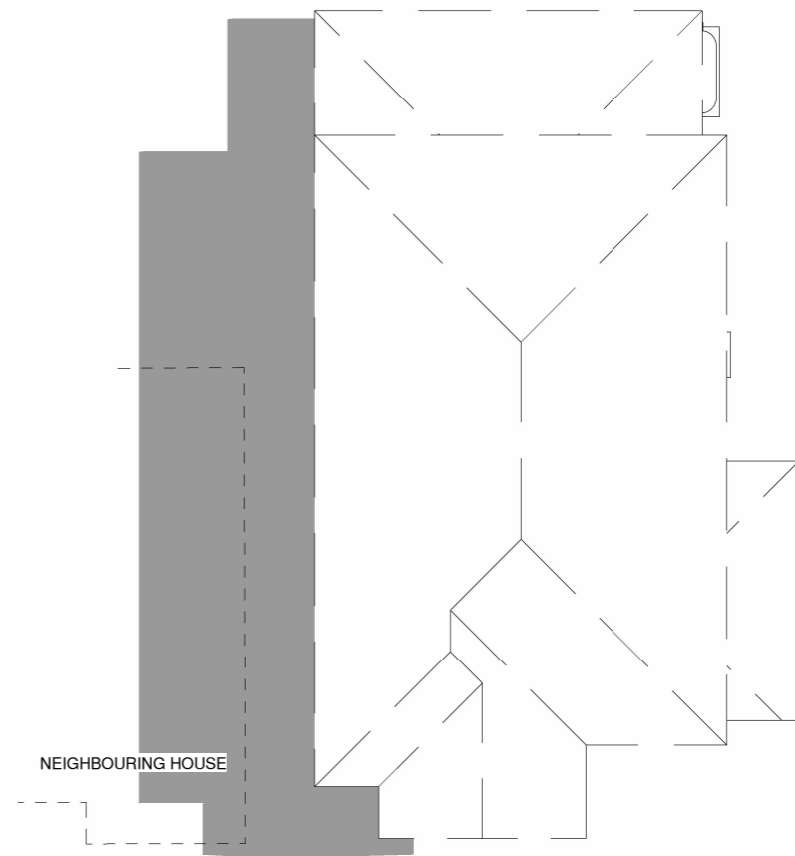
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SD - SUMMER 12 PM

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SD - SUMMER 3 PM

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CLIENT

K. J. SHARAN & S. W. WISE

DESIGN

BOSTON 38

ADDRESS

LOT 32 HENDY AVENUE
PANANIA NSW 2213

FACADE

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SHADOW DIAGRAM 01

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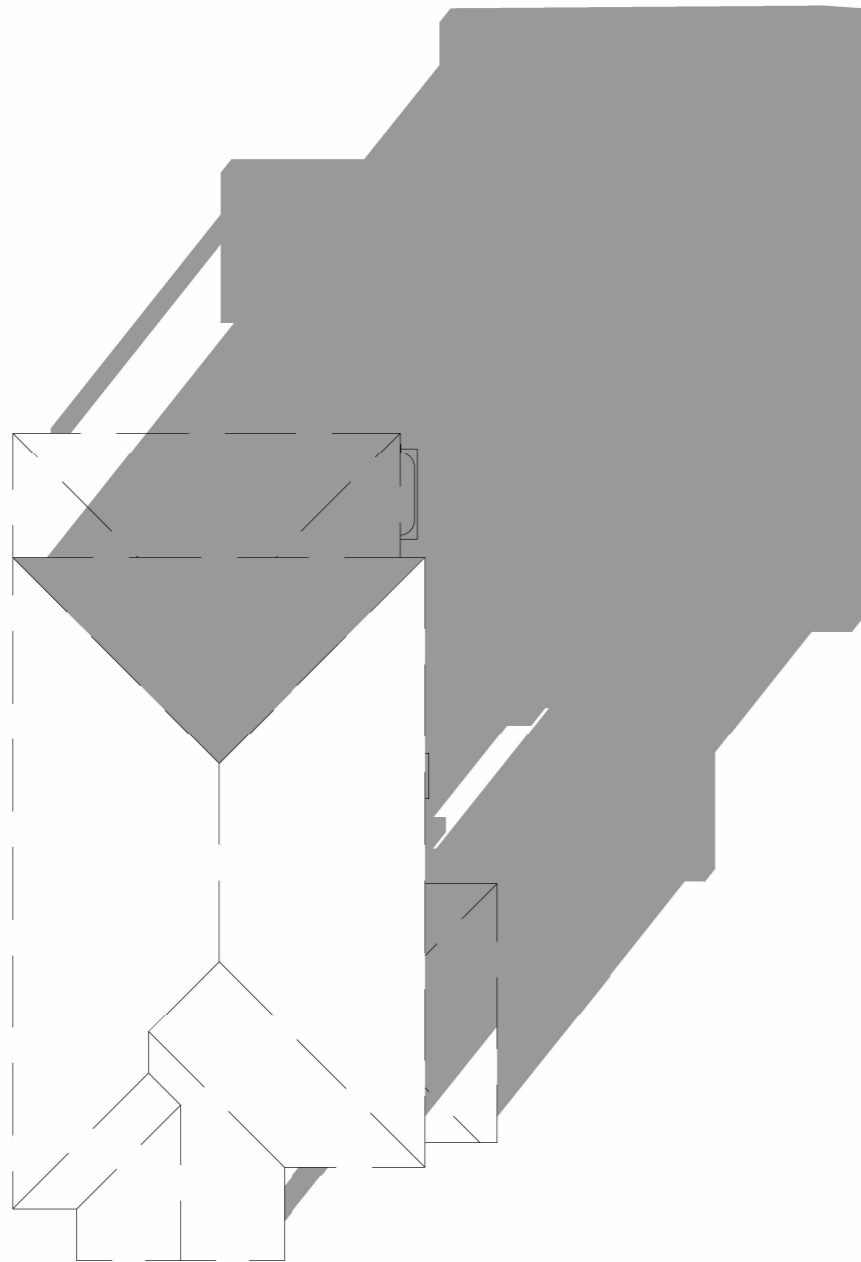
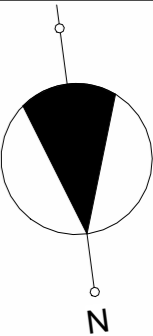
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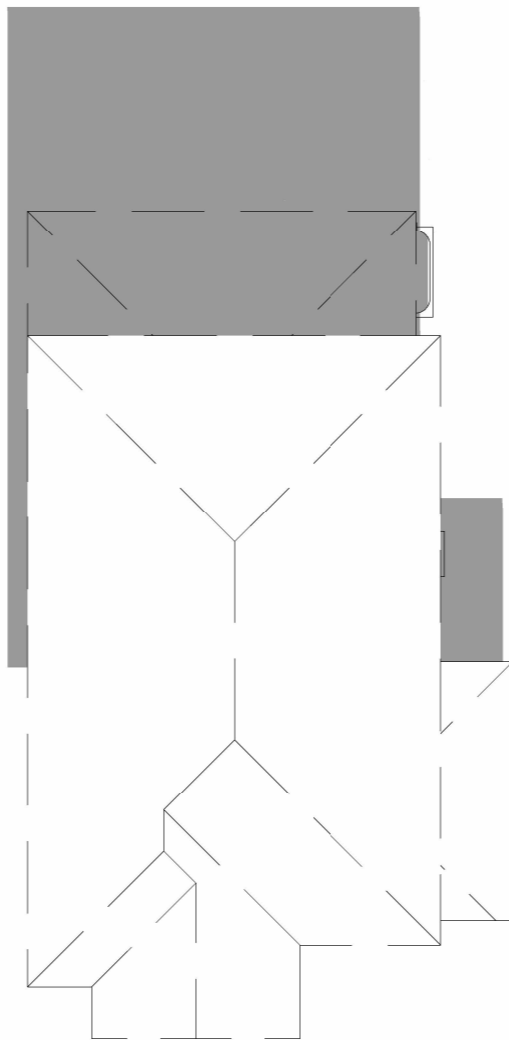
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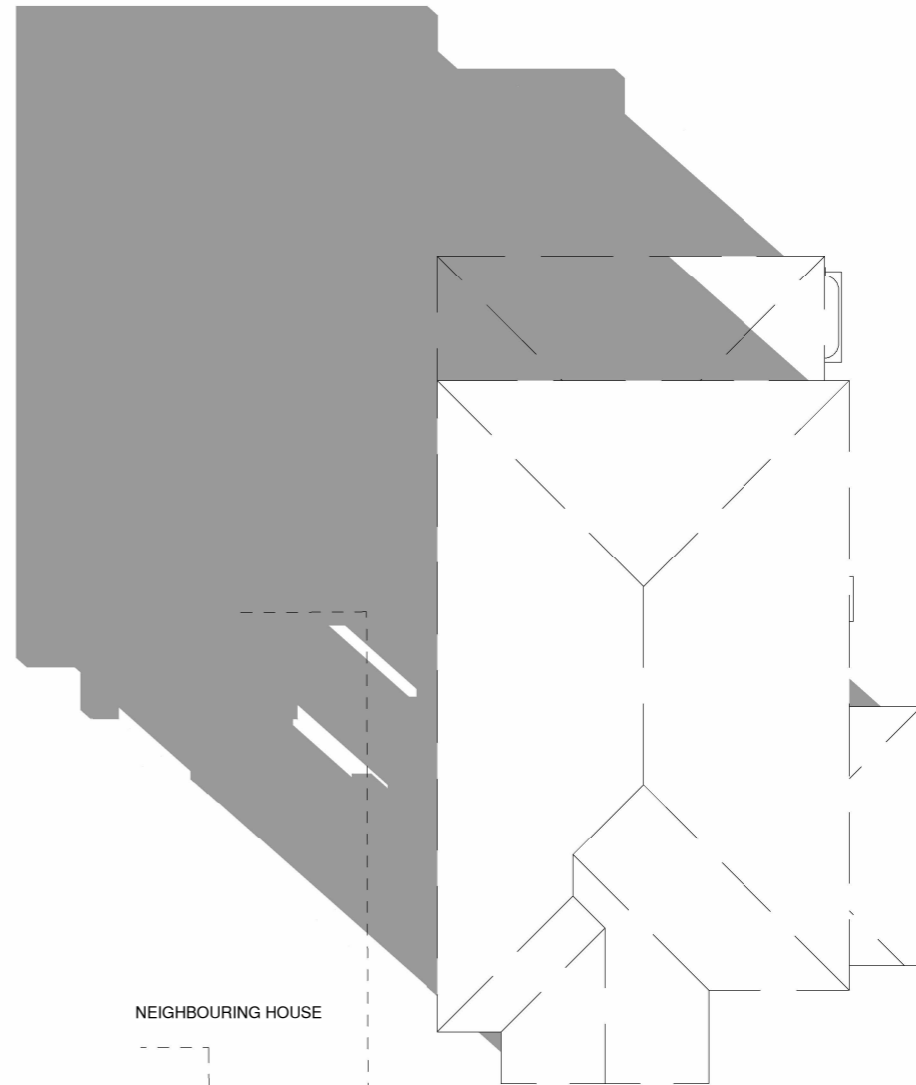
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SD - WINTER 12 PM

1 : 200



SD - WINTER 3 PM

1 : 200

NEIGHBOURING HOUSE

CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE
PANANIA NSW 2213

DESIGN

BOSTON 38

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PLAN

SHADOW DIAGRAM 02

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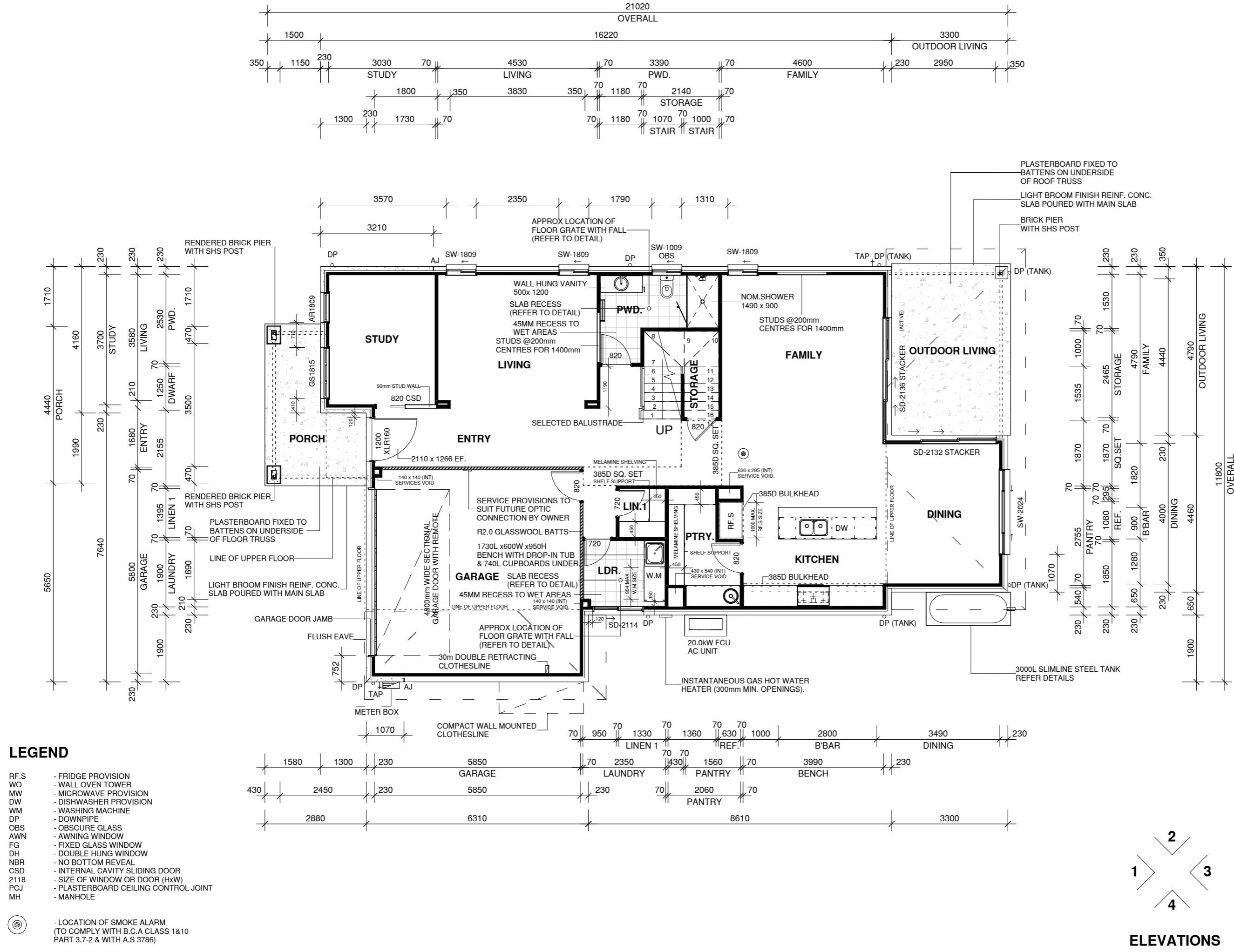
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LEGEND

- RF.S - FRIDGE PROVISION
- WO - WALL OVEN TOWER
- MW - MICROWAVE PROVISION
- DW - DISHWASHER PROVISION
- WM - WASHING MACHINE
- DP - DOWNPIPE
- OBS - OBSCURE GLASS
- AWN - AWNING WINDOW
- FG - FIXED GLASS WINDOW
- DH - DOUBLE HUNG WINDOW
- NBR - NO BOTTOM REVEAL
- CSD - INTERNAL CAVITY SLIDING DOOR
- 2118 - SIZE OF WINDOW OR DOOR (HxW)
- PCJ - PLASTERBOARD CEILING CONTROL JOINT
- MH - MANHOLE
- (Symbol) - LOCATION OF SMOKE ALARM (TO COMPLY WITH B.C.A CLASS 1&10 PART 3.7-2 & WITH A.S 3786)

CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE
PANANIA NSW 2213

DESIGN

BOSTON 38

FACADE

HAMPTONS BALCONY

PLAN

LOWER FLOOR PLAN

AREA SCHEDULE

	Area (m2)
LIVING	142.72
GARAGE	37.10
OUTDOOR LIVING	15.81
PORCH	9.25
	204.88
LIVING (UPPER)	152.55
BALCONY	6.50
	159.05
TOTAL	363.93

PERIMETER SCHEDULE

LOWER LEVEL	62.64 m
UPPER LEVEL	52.56 m

ROOF SCHEDULE

	206.85 m ²
LOWER LEVEL	60.89 m ²

GUTTER SCHEDULE

	PER LENGTH
LOWER LEVEL	30.32 m
NOVALINE	49.66 m
FASCIA	
UPPER LEVEL	6.25 m

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PROPRIETOR SIGNATURE

PROPRIETOR SIGNATURE

BUILDERS SIGNATURE

CORAL HOMES

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DATE: 25/07/2023

REF: 34958

SCALE: 1 : 100

SHEET NUMBER: 04 of 15

AREA SCHEDULE

	Area (m2)
LIVING	142.72
GARAGE	37.10
OUTDOOR LIVING	15.81
PORCH	9.25
	204.88

LIVING (UPPER)	152.55
BALCONY	6.50
	159.05
TOTAL	363.93

PERIMETER SCHEDULE

LOWER LEVEL	62.64 m
UPPER LEVEL	52.56 m

ROOF SCHEDULE

	206.85 m ²
LOWER LEVEL	60.89 m ²

GUTTER SCHEDULE

	PER LENGTH
LOWER LEVEL	30.32 m
NOVALINE FASCIA	49.66 m
UPPER LEVEL	6.25 m

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PROPRIETOR
SIGNATUREPROPRIETOR
SIGNATURE

BUILDERS SIGNATURE

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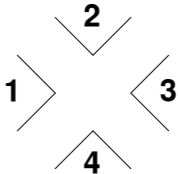
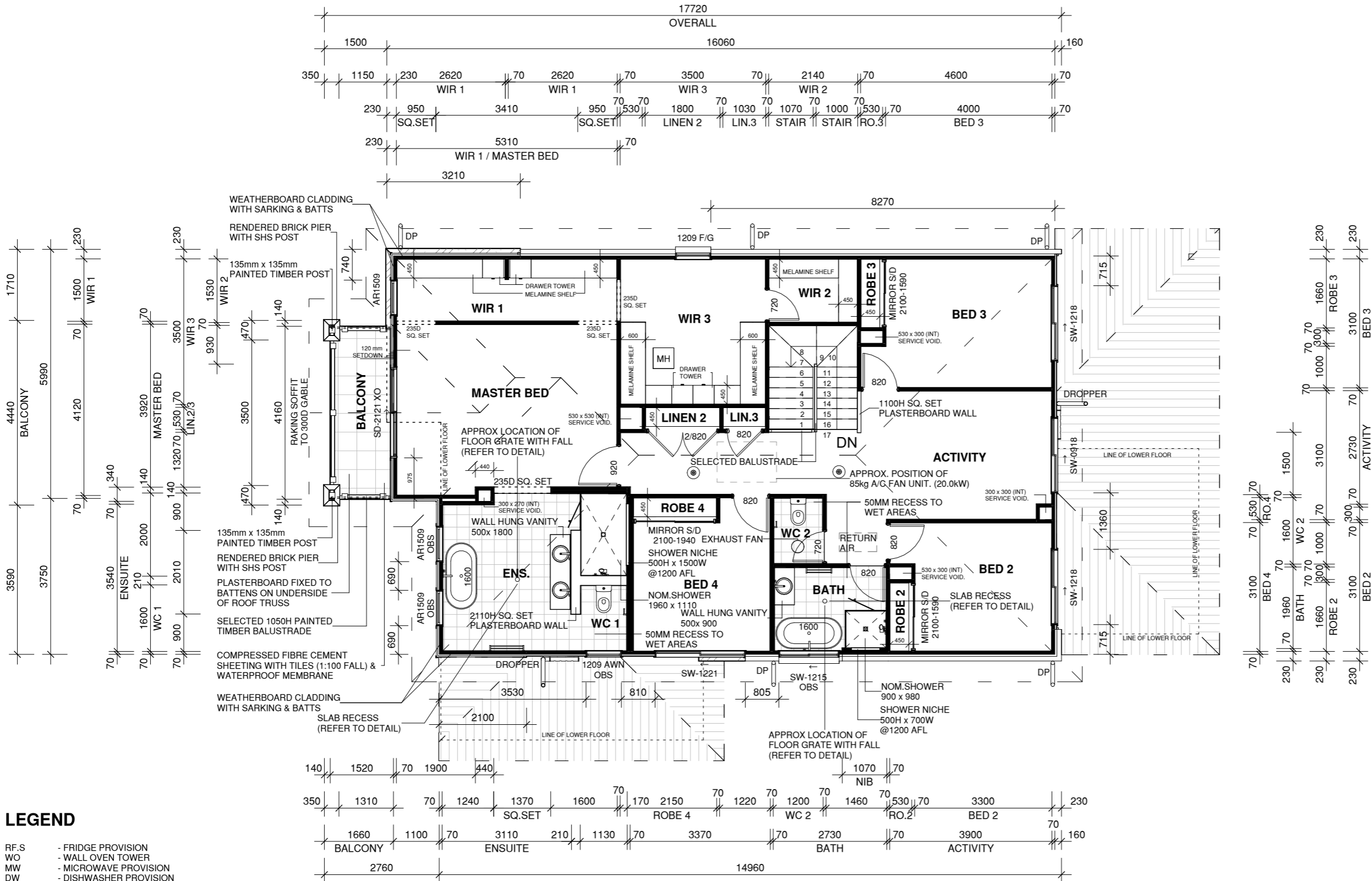
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SHEET NUMBER:	05 of 15

LEGEND

RF.S	- FRIDGE PROVISION
WO	- WALL OVEN TOWER
MW	- MICROWAVE PROVISION
DW	- DISHWASHER PROVISION
WM	- WASHING MACHINE
DP	- DOWNPIPE
OBS	- OBSCURE GLASS
AWN	- AWNING WINDOW
FG	- FIXED GLASS WINDOW
DH	- DOUBLE HUNG WINDOW
NBR	- NO BOTTOM REVEAL
CSD	- INTERNAL CAVITY SLIDING DOOR
2118	- SIZE OF WINDOW OR DOOR (HxW)
PCJ	- PLASTERBOARD CEILING CONTROL JOINT
MH	- MANHOLE

⊙ - LOCATION OF SMOKE ALARM
(TO COMPLY WITH B.C.A CLASS 1&10
PART 3.7-2 & WITH A.S 3786)



ELEVATIONS

CLIENT
K. J. SHARAN & S. W. WISE

ADDRESS

DESIGN BOSTON 38

FACADE HAMPTONS BALCONY

PLAN ELEVATION 01

	CLEAR
	CLEAR TOUGHENED
	OBS - OBSCURE
	TINT - STANDARD
	TINT - DARK
	CLEAR TOUGHENED - TINT STANDARD

	FACE BRICKWORK		AAC PANEL
	FEATURE BRICKWORK		
	RENDERED BRICKWORK		
	BAG N PAINT BRICKWORK		
	PAINTED FC SHEET		
	RENDERED FC SHEET		

NOTE:
PATTERNS, SIZE AND SETOUTS
ARE INDICATIVE ONLY AND ARE NOT
TO BE USED FOR ANY OTHER PURPOSE

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BUILDERS SIGNATURE

**CORAL
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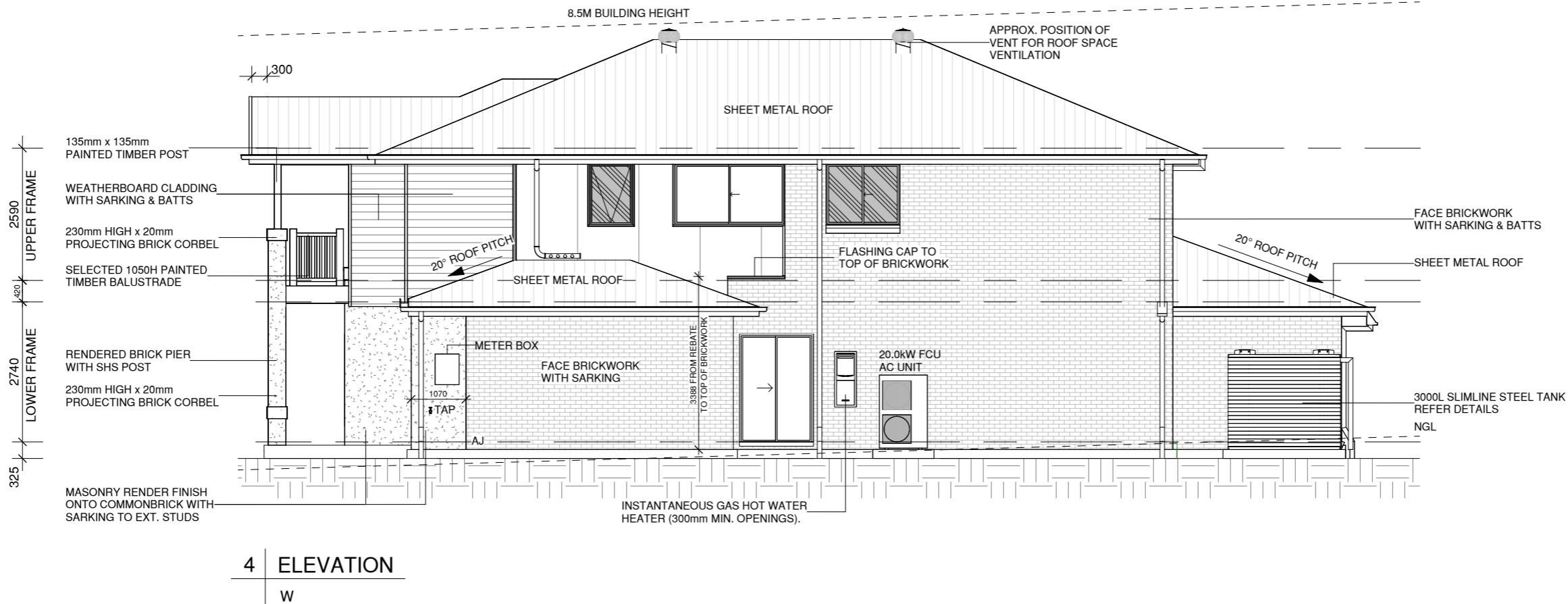
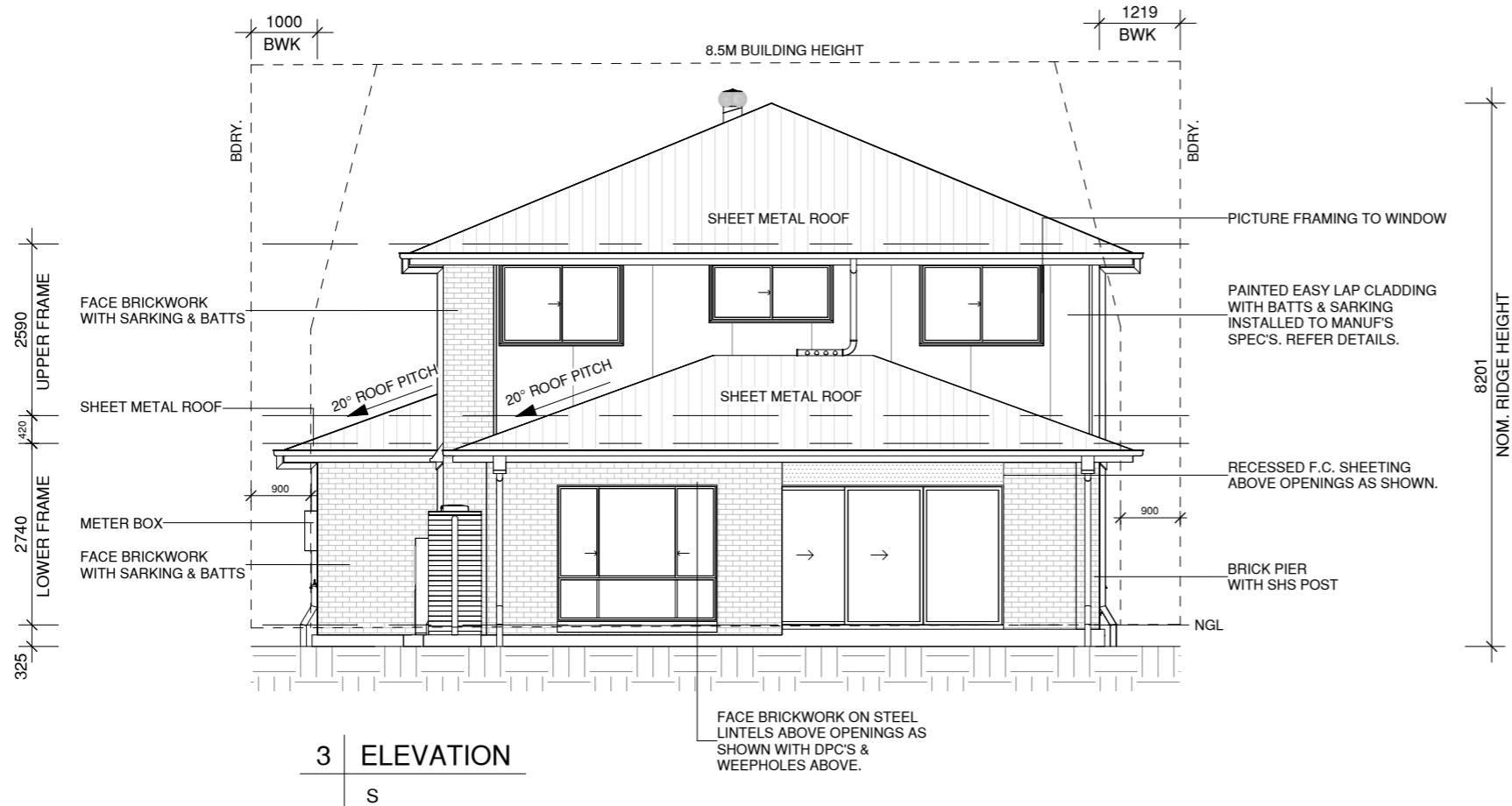
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SHEET NUMBER: 06 of 15



ALL WINDOWS TO BE RAISED
FLUSH WITH SOFFIT.

CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE
PANANIA NSW 2213

DESIGN

BOSTON 38

FACADE

HAMPTONS BALCONY

PLAN

ELEVATION 02

GLASS TYPE LEGEND

	CLEAR
	CLEAR TOUGHENED
	OBS - OBSCURE
	TINT - STANDARD
	TINT - DARK
	CLEAR TOUGHENED - TINT STANDARD

MATERIAL TYPE LEGEND

	FACE BRICKWORK		AAC PANEL
	FEATURE BRICKWORK		
	RENDERED BRICKWORK		
	BAG N PAINT BRICKWORK		
	PAINTED FC SHEET		
	RENDERED FC SHEET		

NOTE:
PATTERNS, SIZE AND SETOUTS
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CORAL HOMES.

PROPRIETOR
SIGNATUREPROPRIETOR
SIGNATURE

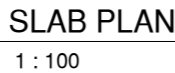
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WC - WC PIPE
SW - SINK WASTE
VW - VANITY WASTE
LT - LDRY TUB
BW - BATH WASTE
SHW - SHOWER WASTE
FW - FLOOR WASTE
DT - DISCONNECTOR TRAP
SV - SERVICE VOID WASTE
 DROP EDGE BEAM
 BLOCKWORK RETAINING
 LOAD BEARING WALLS

FOOTINGS & SLAB TO BE AS PER ENGINEERS
DESIGN AS INDICATED WITH THE SITE INVESTIGATION

NOTES:

ALL DIMENSIONS ARE TO **OUTSIDE BRICKWORK**.
ALL DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.

PLUMBING FIXTURE & POST/PIER FOOTING DIMENSIONS
ARE TO CENTRE.

DISCONNECTOR GULLIES ARE PROVIDED TO FLOORS
OF ENSUITES, BATHROOMS & LAUNDRY WHEN
REQUIRED TO ACT AS FIXTURE TRAP. THESE ARE TO BE
POSITIONED ACCORDING TO AS3500, KEEPING CLEAR
OF ALL STEPS & HOBBS.

REBATE DETAIL (EXTERNAL BRICK WALL)

BRICK PIER

VISUAL TERMITE BARRIER

150

80 160 70

OUTSIDE OF VISUAL TERMITE BARRIER

OUTSIDE OF FRAME

RAMP REBATE DETAIL (GARAGE EXTERNAL BRICK WALL)

BRICK PIER

VISUAL TERMITE BARRIER

150

25 25

80 160 70 300

GARAGE ENTRANCE SLAB REBATE

25mm RAMP TO EDGE OF SLAB REBATE

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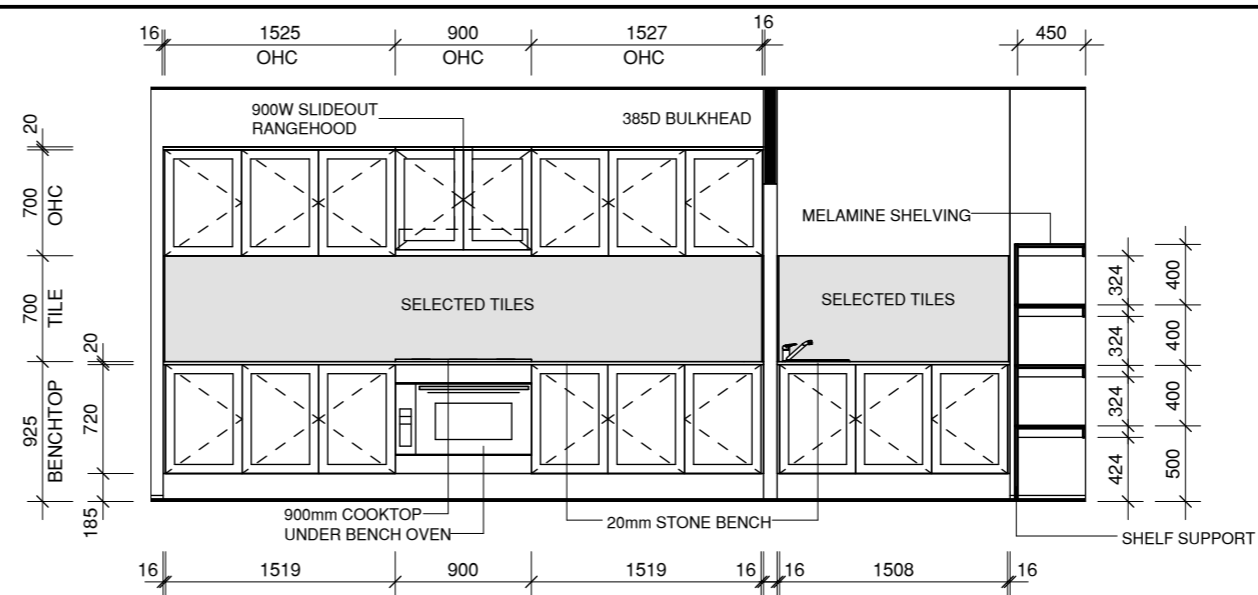
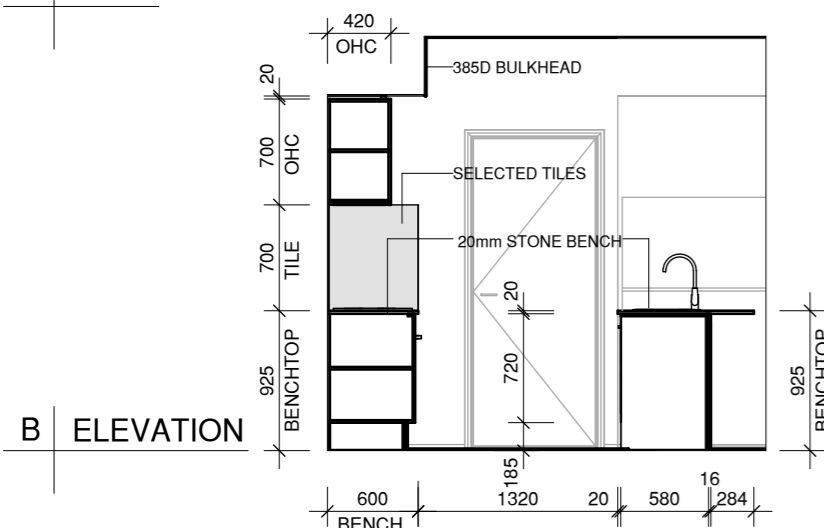
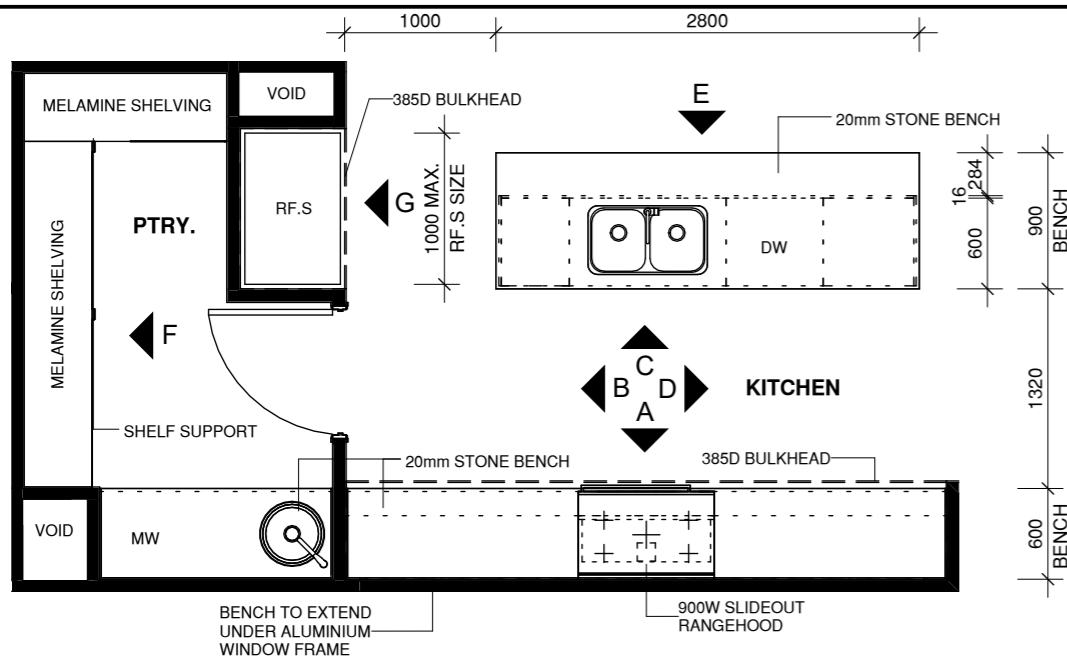
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BUILDERS SIGNATURE

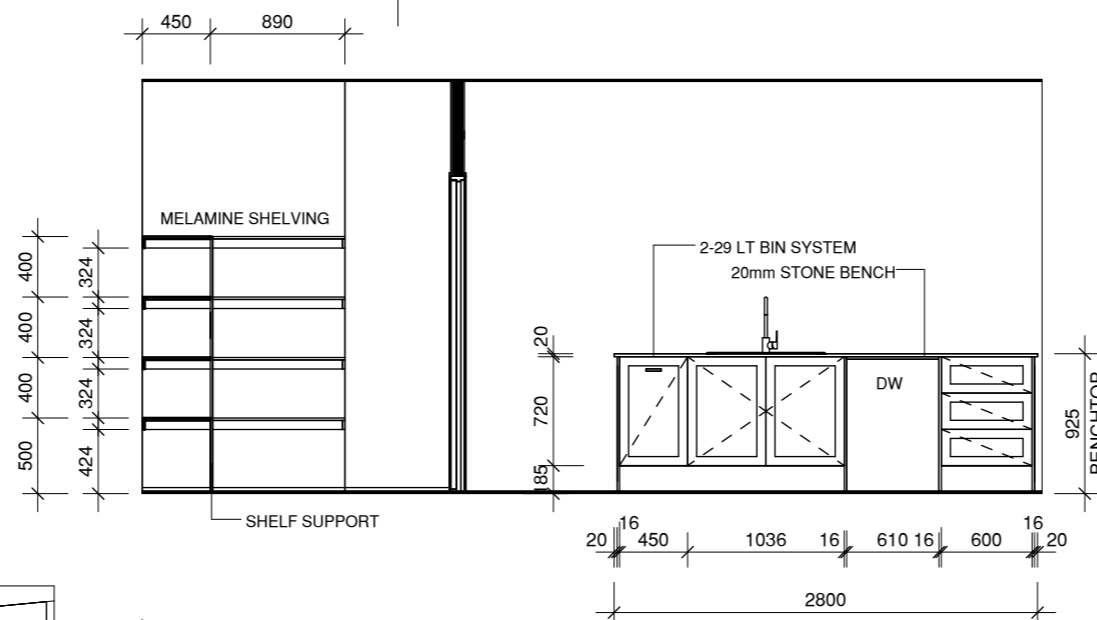
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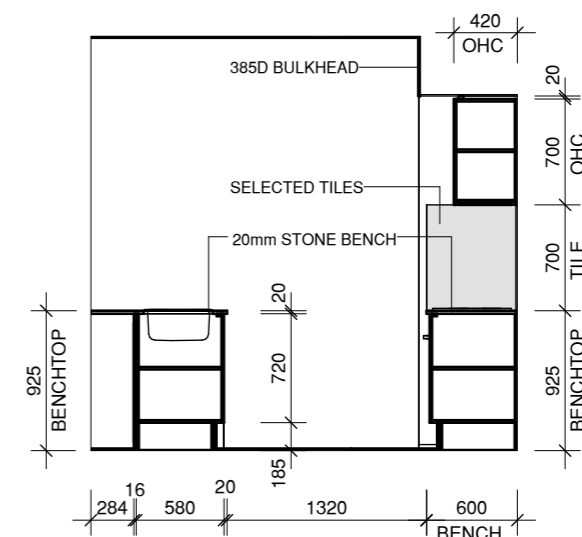
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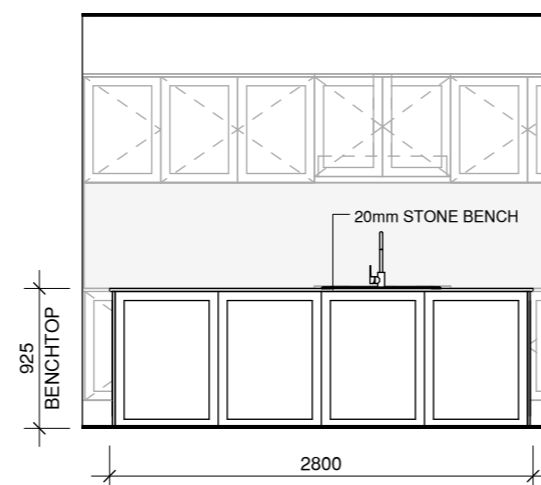
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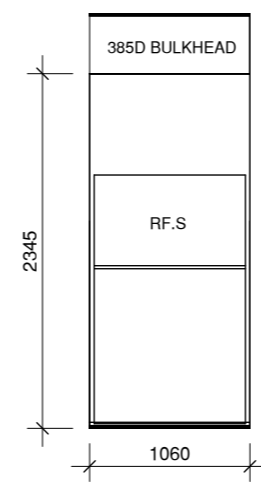
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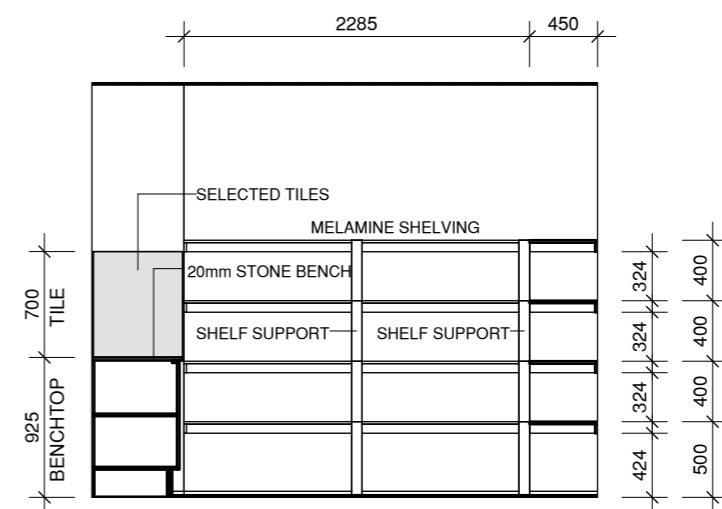
D | ELEVATION



E | ELEVATION



G | ELEVATION



F	ELEVATION
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CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE
PANANIA NSW 2213

DESIGN

BOSTON 38

FACADE

HAMPTONS BALCONY

PLAN

RLS - KITCHEN LAYOUT

IMPORTANT INFORMATION

REFER TO WORKING DRAWINGS FOR ALL
ROOM DIMENSIONS, ROOM LAYOUT AND
WINDOW/DOOR SIZE AND POSITION.

ALL INTERNAL ELEVATIONS DIMENSIONS
STATED ARE FROM INSIDE OF WALL LINING
(BASED ON 10mm THICK WALL LININGS).

ALL DIMENSIONS ON FLOOR PLAN ARE FROM FRAME.

ALL DIMENSIONS ARE APPROX. ONLY
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 PROPRIETOR
 SIGNATURE

PROPRIETOR
SIGNATURE

BUILDERS SIGNATURE

CORAL HOMES

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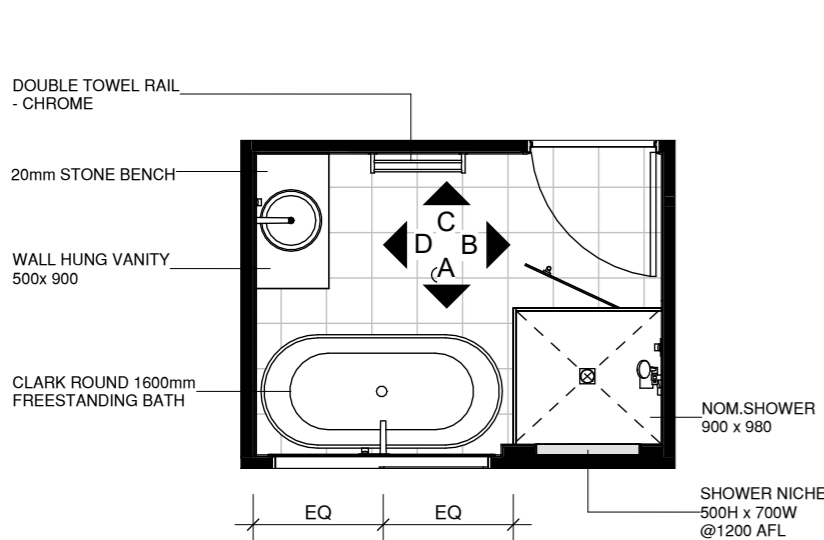
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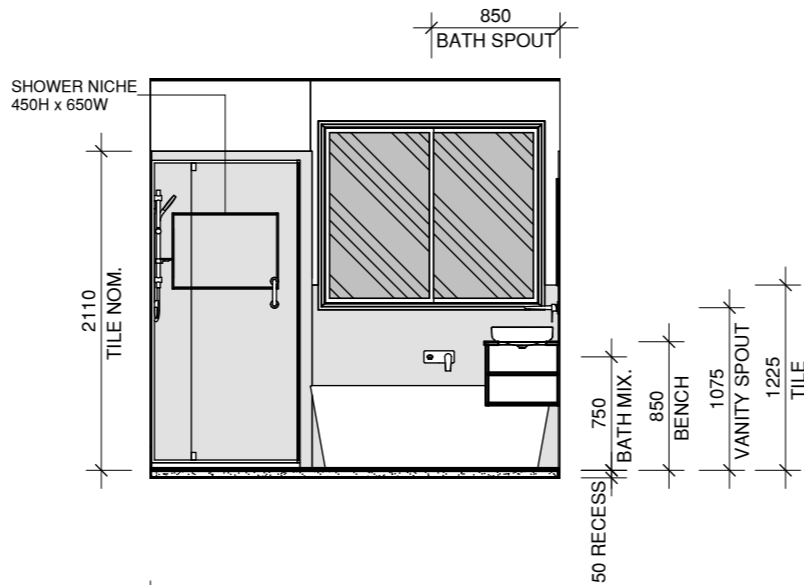
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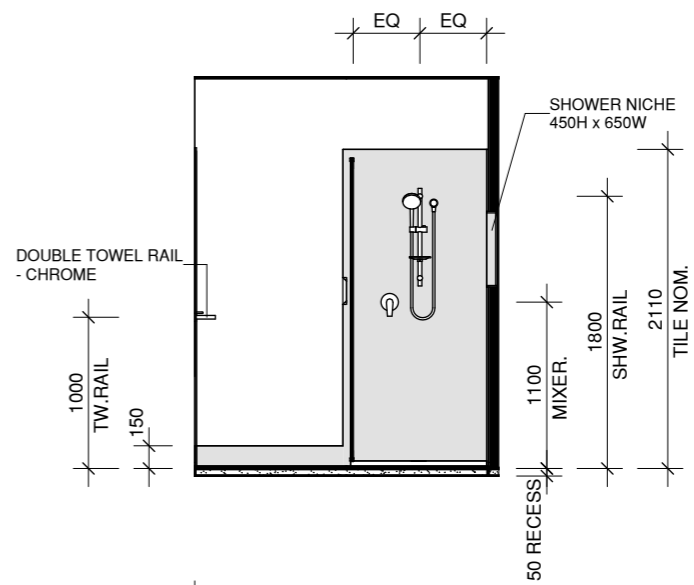
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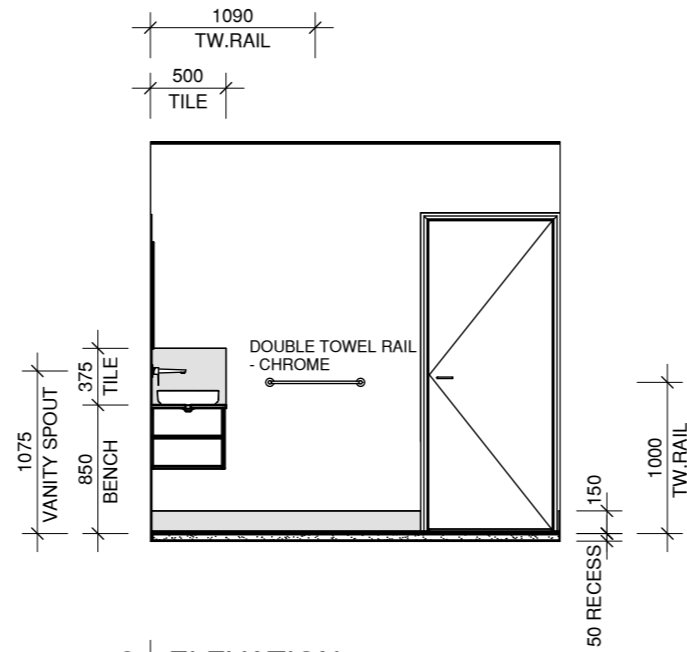
UPPER - BATHROOM PLAN



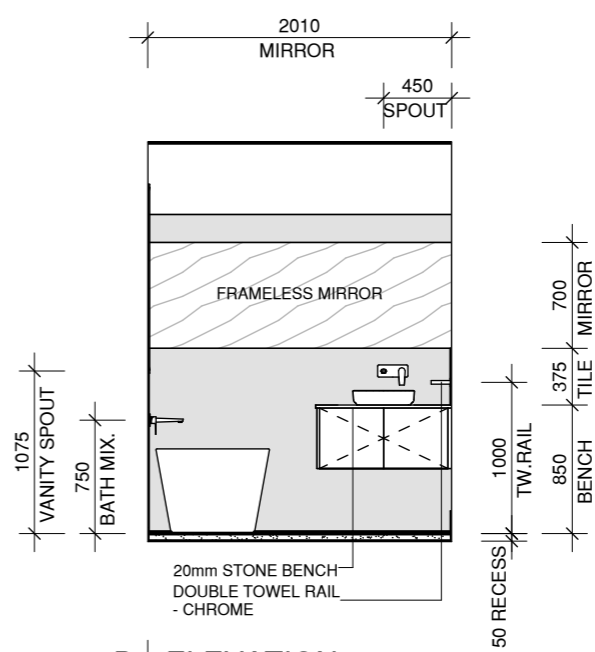
A ELEVATION



B ELEVATION



C ELEVATION



D ELEVATION

CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE
PANANIA NSW 2213

DESIGN

BOSTON 38

FACADE

HAMPTONS BALCONY

PLAN

RLS - WET AREA 01

IMPORTANT INFORMATION

REFER TO WORKING DRAWINGS FOR ALL ROOM DIMENSIONS, ROOM LAYOUT AND WINDOW/DOOR SIZE AND POSITION.

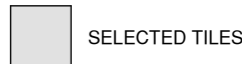
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ALL DIMENSIONS ON FLOOR PLAN ARE FROM FRAME.

ALL DIMENSIONS ARE APPROX. ONLY AND MAY VARY DEPENDING ON PRODUCT SELECTION, TOWEL RAILS, TOILET ROLL HOLDERS, SHOWER SCREENS, VANITIES, POWER POINTS, TILE PATTERNS, SIZE AND SETOUTS ARE INDICATIVE ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE.

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MATERIAL LEGEND



SELECTED TILES

FINAL SIGNED COPY

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SIGNATURE

PROPRIETOR
SIGNATURE

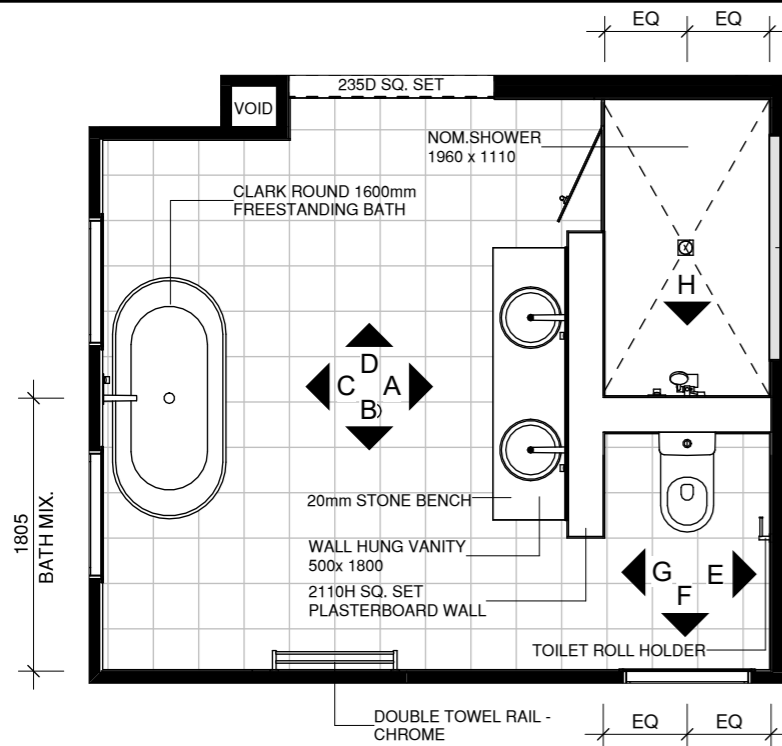
BUILDERS SIGNATURE

CORAL HOMES

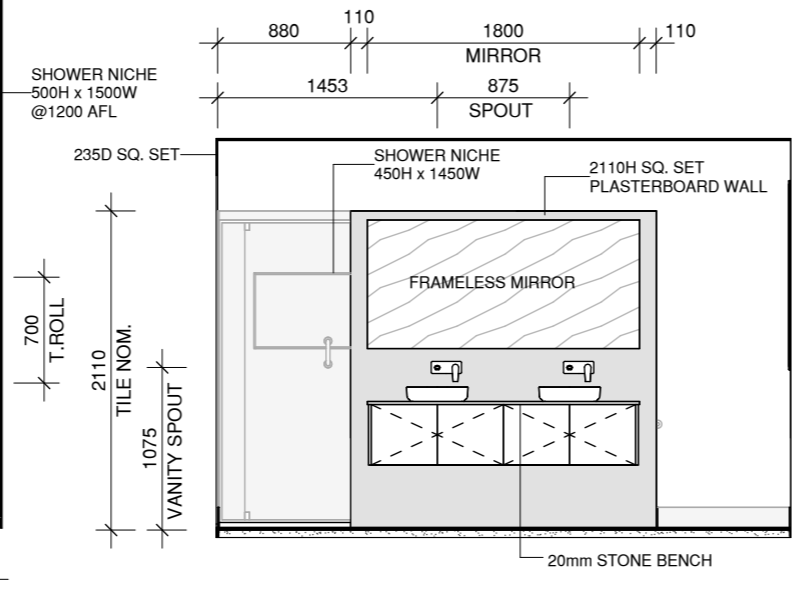
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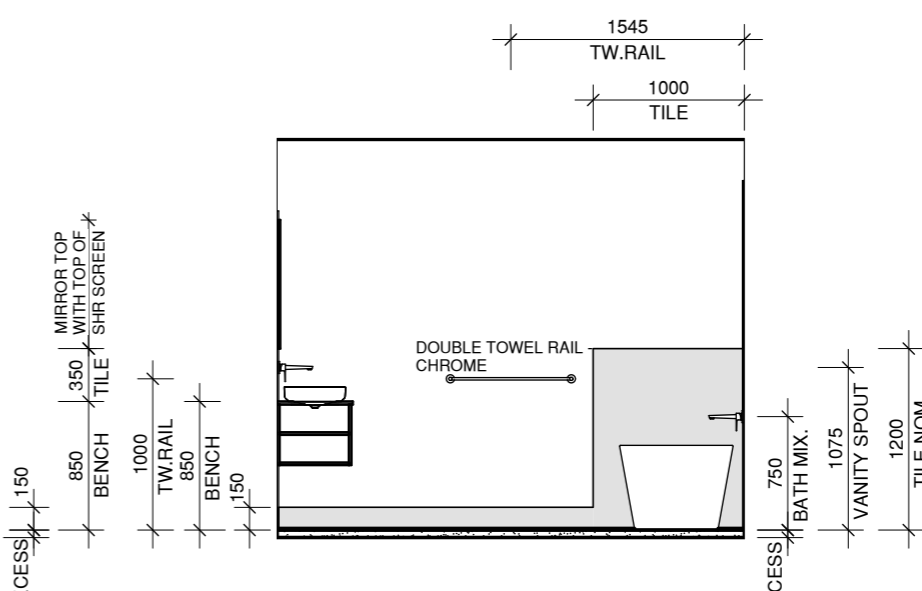
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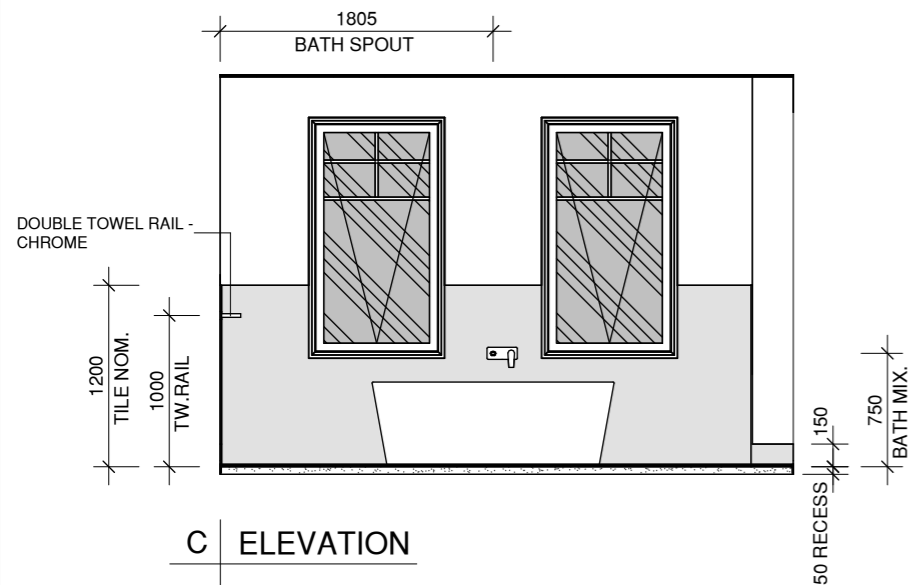
UPPER - ENSUITE PLAN



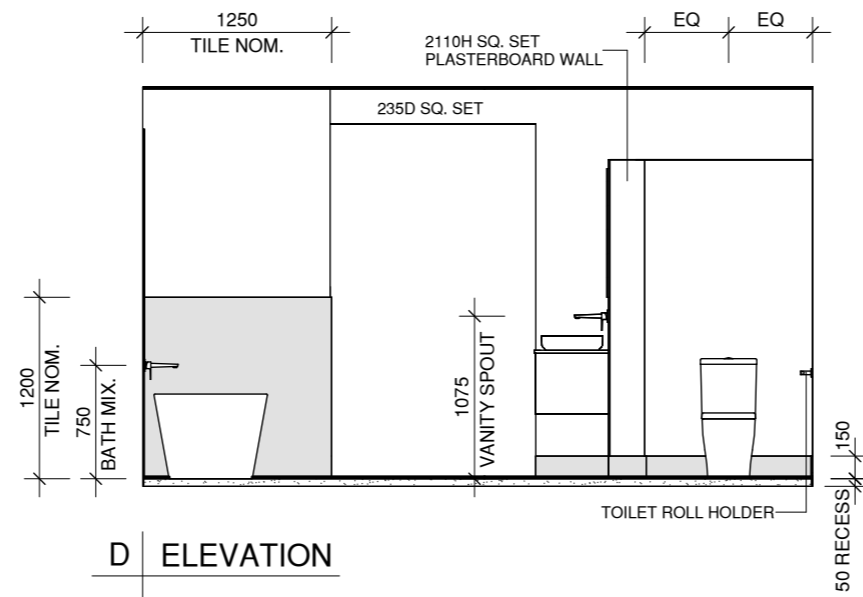
A ELEVATION



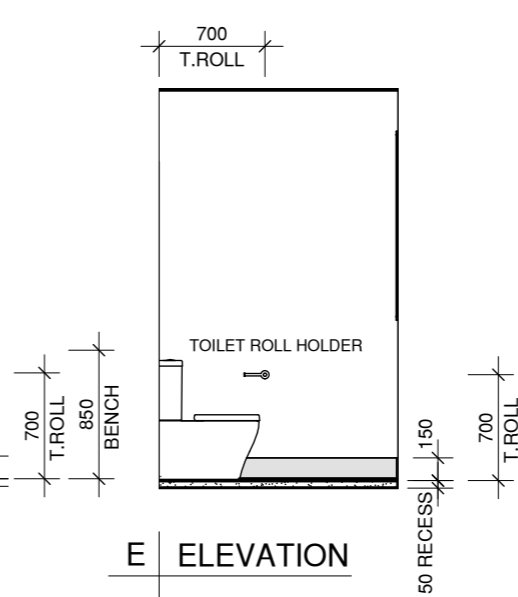
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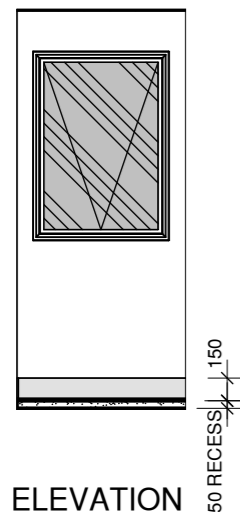
C ELEVATION



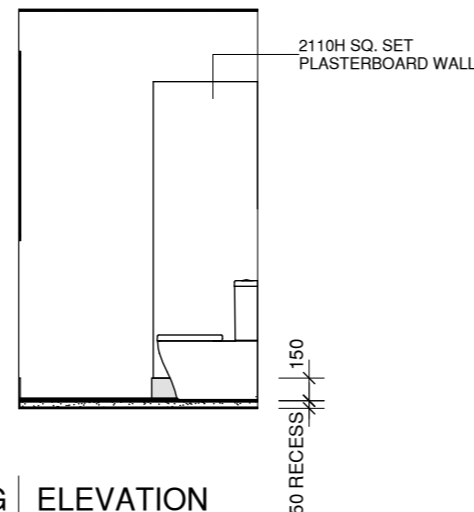
D ELEVATION



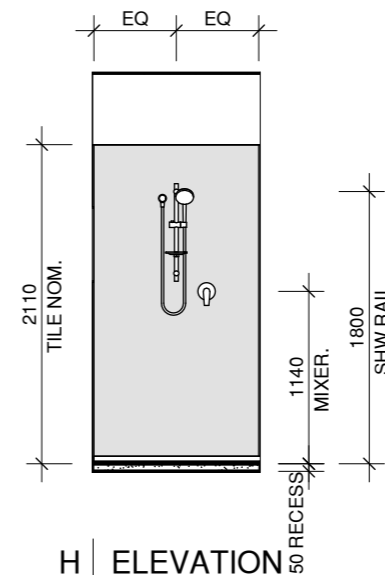
E ELEVATION



F ELEVATION



G ELEVATION



H ELEVATION

CLIENT
K. J. SHARAN & S. W. WISE

ADDRESS
LOT 32 HENDY AVENUE
PANANIA NSW 2213

DESIGN
BOSTON 38

FACADE
HAMPTONS BALCONY

PLAN
RLS - WET AREA 02

IMPORTANT INFORMATION
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MATERIAL LEGEND
SELECTED TILES

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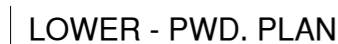
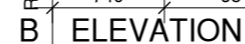
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PROPRIETOR SIGNATURE
BUILDERS SIGNATURE

CORAL HOMES

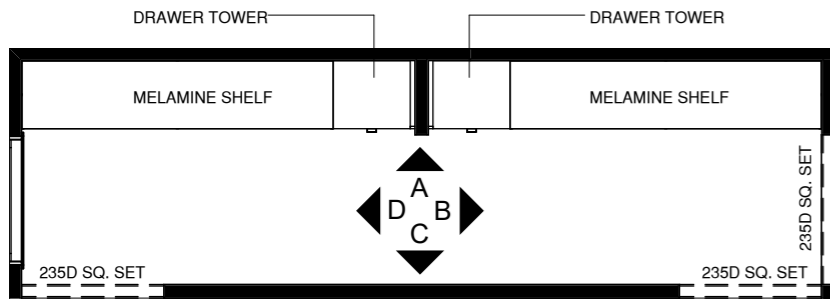
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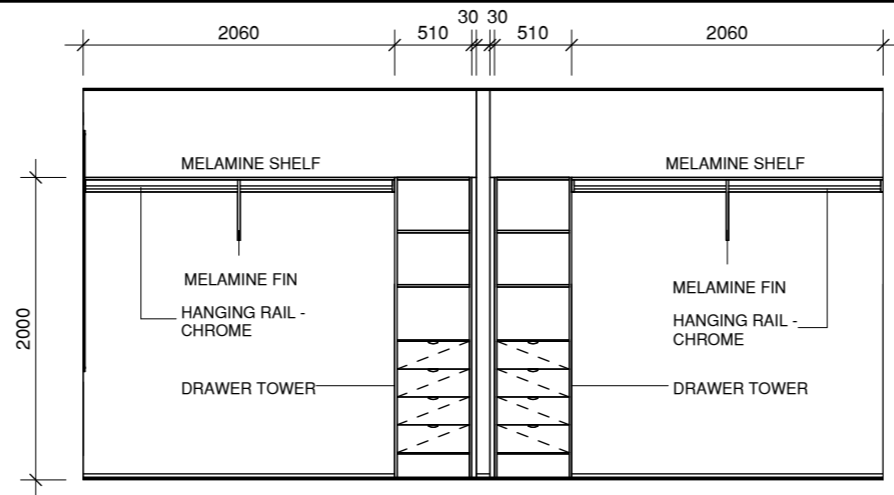
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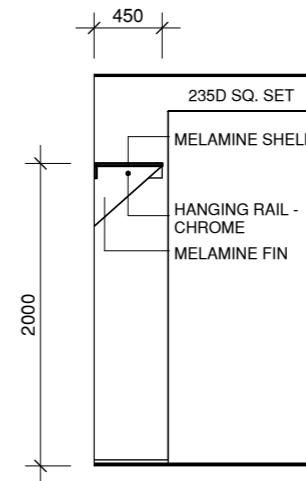
SHEET NUMBER: 12 of 15



UPPER - WIR 1 PLAN



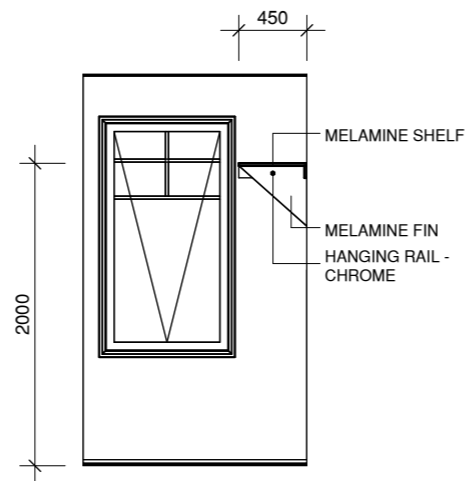
A ELEVATION



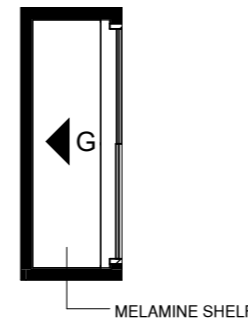
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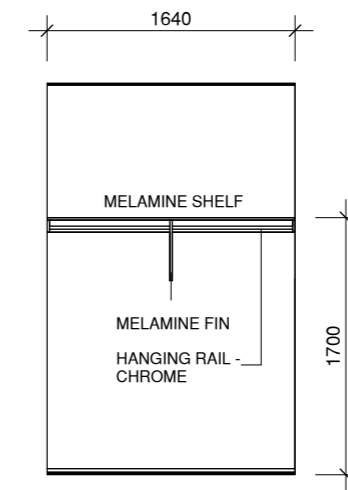
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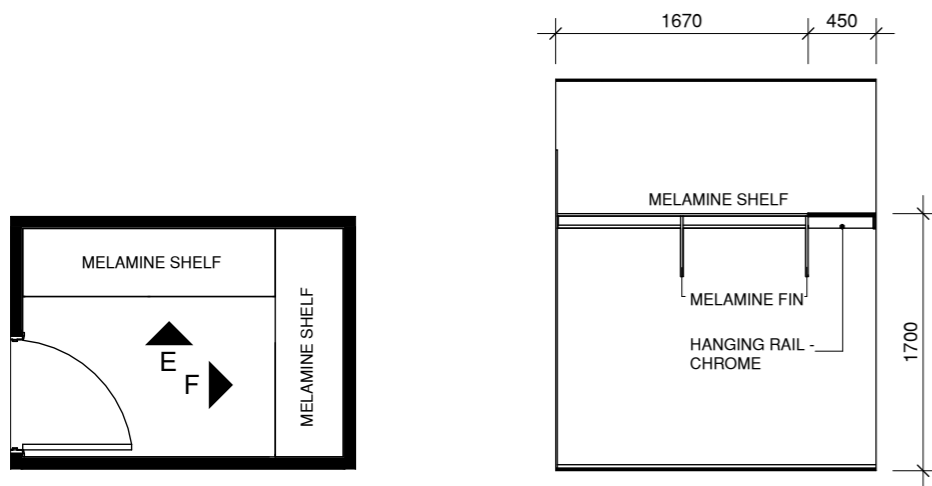
D ELEVATION



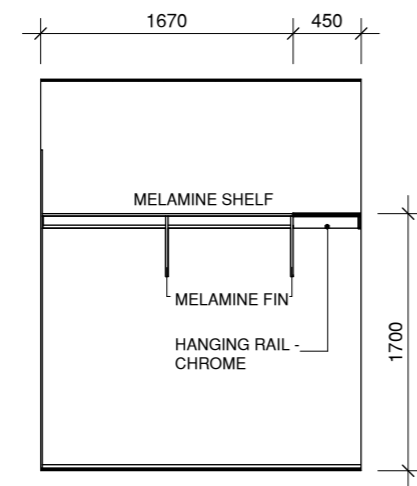
UPPER - ROBE 5 PLAN



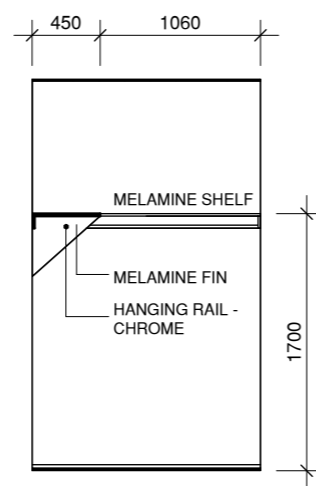
G ELEVATION



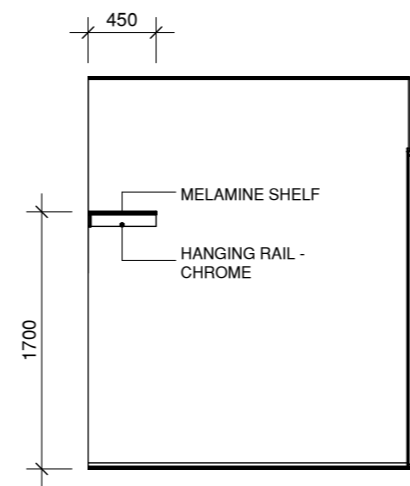
UPPER - WIR 2 PLAN



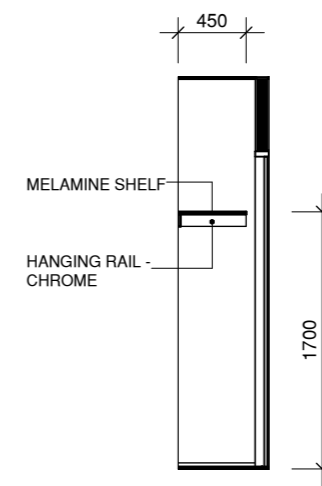
E ELEVATION



F ELEVATION



S1 SECTION



S2 SECTION

CLIENT	K. J. SHARAN & S. W. WISE
ADDRESS	LOT 32 HENDY AVENUE PANANIA NSW 2213
DESIGN	BOSTON 38
FACADE	HAMPTONS BALCONY
PLAN	RLS - ROBES & WIR

IMPORTANT INFORMATION

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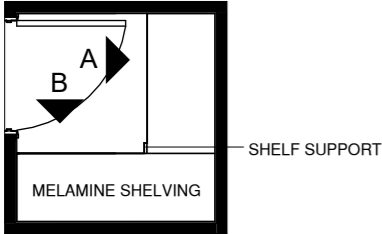
PROPRIETOR SIGNATURE
PROPRIETOR SIGNATURE
BUILDERS SIGNATURE

CORAL HOMES

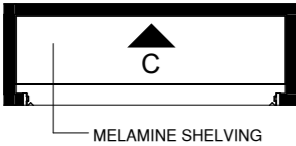
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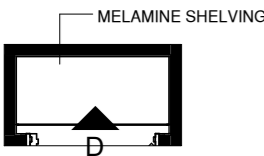
REV:	VO7
DATE:	25/07/2023
REF:	34958
SCALE:	1 : 50
SHEET NUMBER:	13 of 15



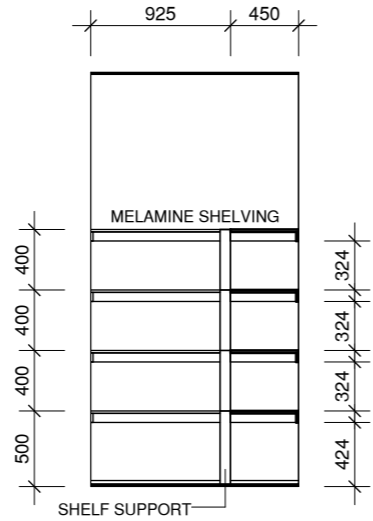
LOWER - LINEN 1 PLAN



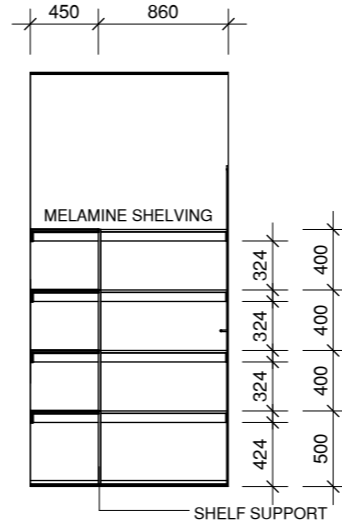
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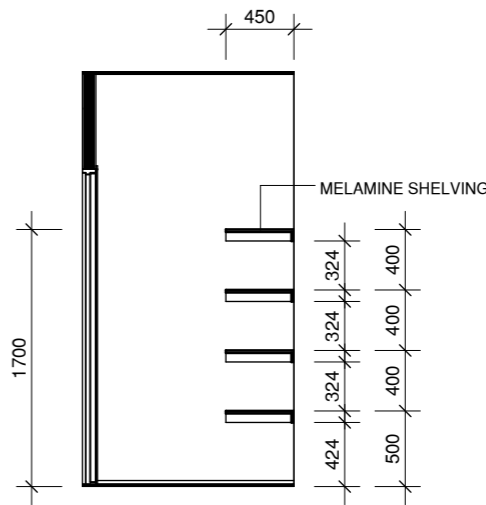
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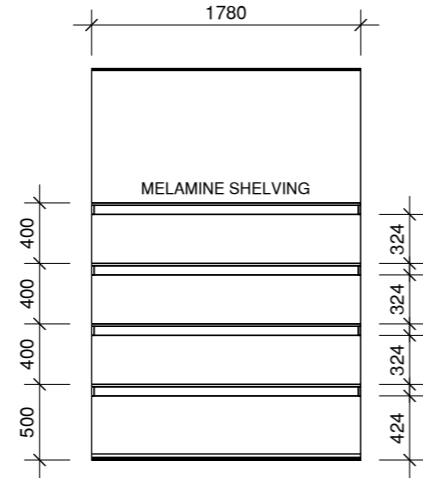
A ELEVATION



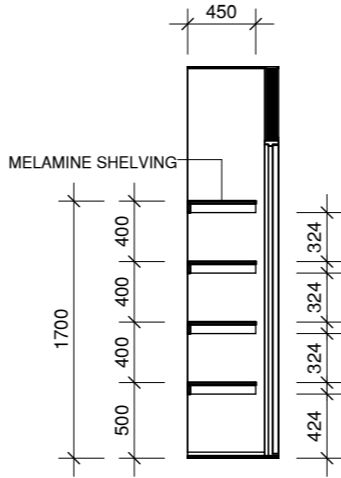
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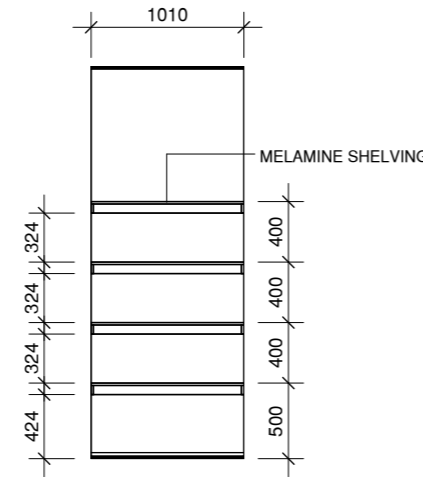
S1 SECTION



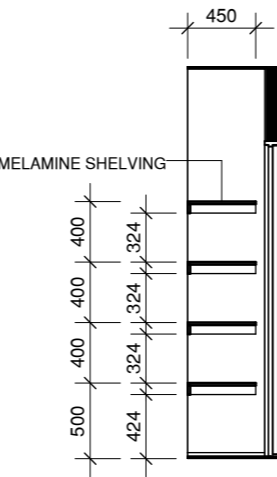
C ELEVATION



S2 SECTION



D ELEVATION



S3 SECTION

CLIENT

K. J. SHARAN & S. W. WISE

ADDRESS

LOT 32 HENDY AVENUE
PANANIA NSW 2213

DESIGN BOSTON 38

FACADE HAMPTONS BALCONY

PLAN RLS - LINEN

IMPORTANT INFORMATION

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PROPRIETOR SIGNATURE

BUILDERS SIGNATURE

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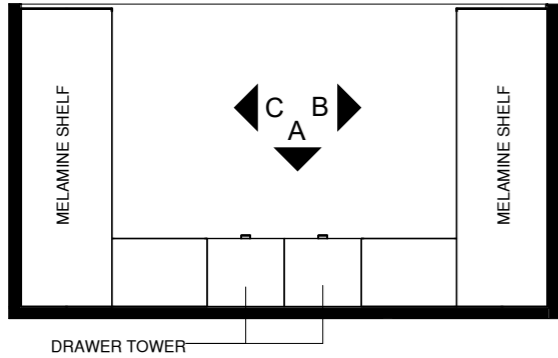
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DATE: 25/07/2023

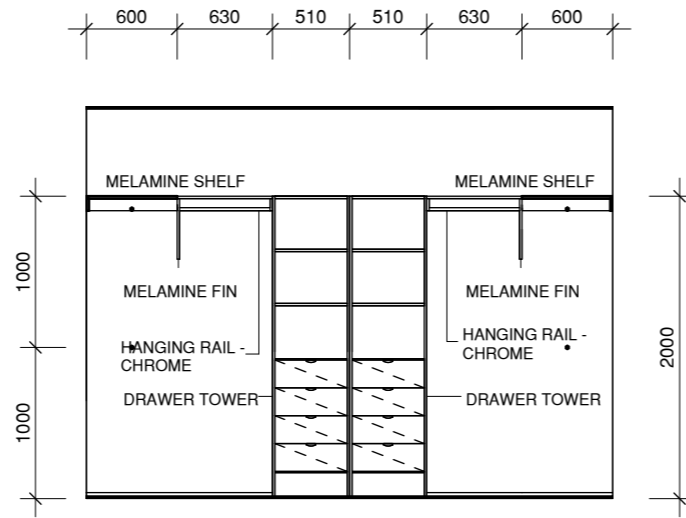
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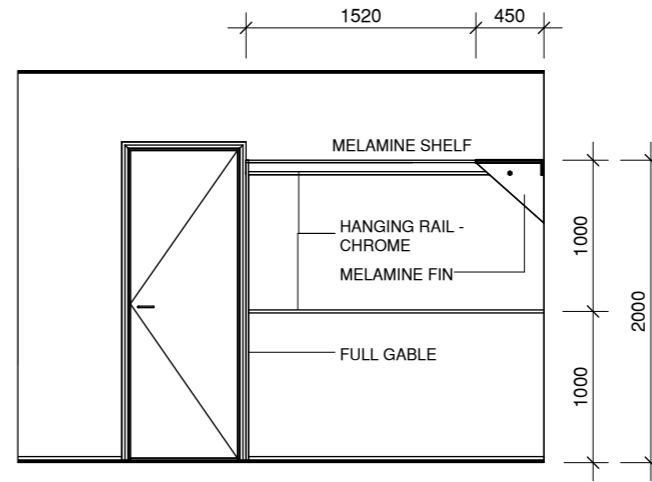
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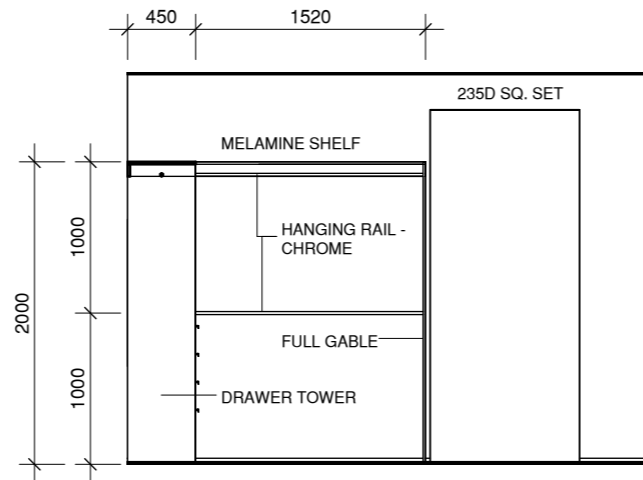
UPPER - WIR 3 PLAN



A ELEVATION



B ELEVATION



C ELEVATION

CLIENT
K. J. SHARAN & S. W. WISE

ADDRESS
LOT 32 HENDY AVENUE
PANANIA NSW 2213

DESIGN
BOSTON 38

FACADE
HAMPTONS BALCONY

PLAN
RLS - WIR 3

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SIGNATURE

PROPRIETOR
SIGNATURE

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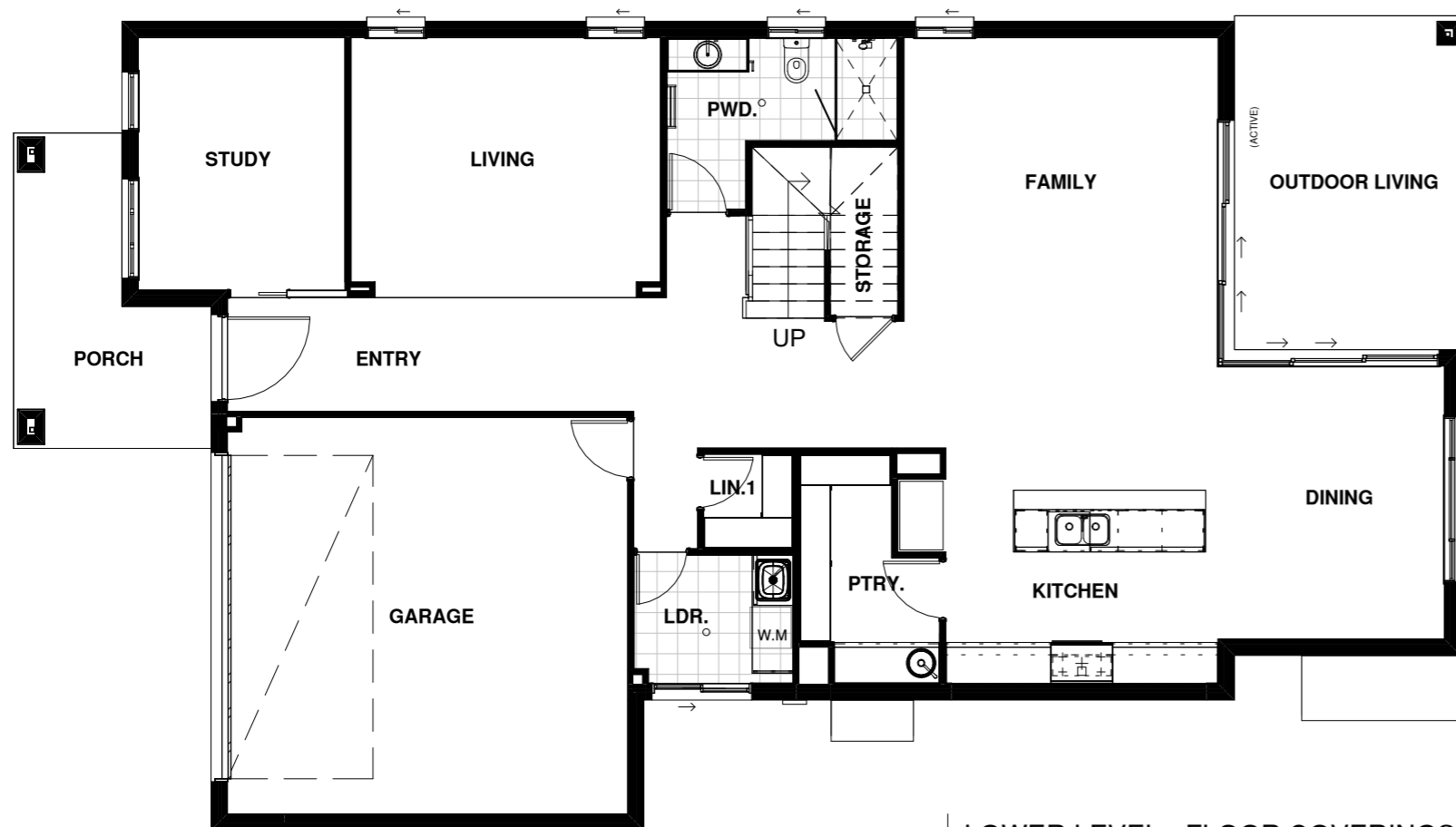
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DATE: 25/07/2023

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SHEET NUMBER: 13C of 15



LOWER LEVEL - FLOOR COVERINGS

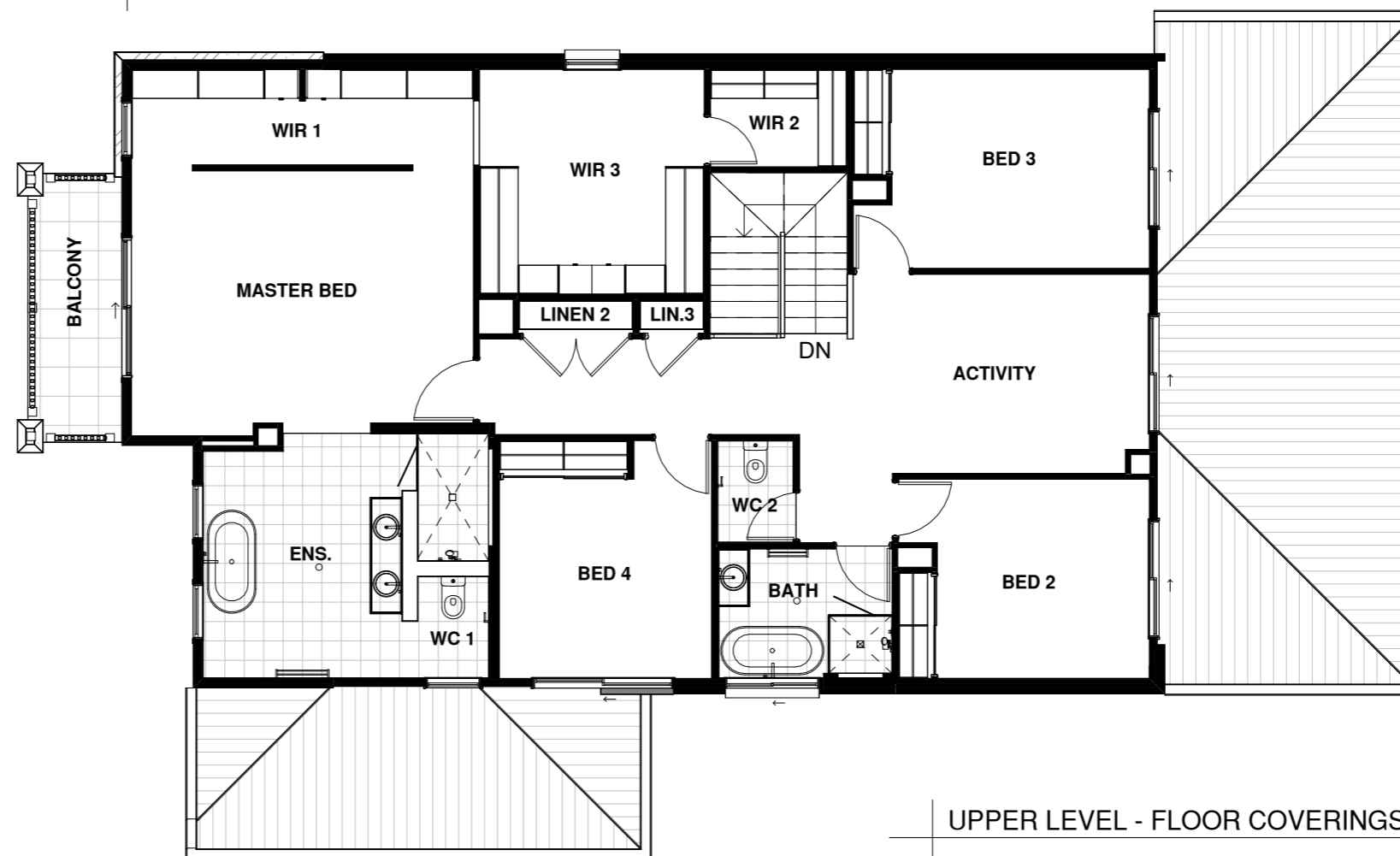
TILES -WALL (m2)	
Locations	Area (m2)
(Tiles) Wet Area Walls	46.923
(Tiles) Kitchen Splashback	5.509
(Tiles) External Wall Tiles	0.452

TILES -SKIRTING (m)	
Locations	Length (m)
(Tiles) Wet Area Walls	26.34
(Tiles) External Wall Tiles	4.11

TILES -BATH n SHOWER NICHE (m2)	
Locations	Overall Area: (Approx.) (m2)
(Tiles) Wet Area Walls	1.55

FLOOR COVERINGS (m2)	
Materials / Locations	Overall Area: (Approx.) (m2)
(Tiles) External Floors	5.90
(Tiles) Wet Area Floors-Lower Floor	10.25
(Tiles) Wet Area Floors-Upper Floor	23.01

STAIRS		
	Floor Area (m2)	Riser Area (m2)
		3.160



UPPER LEVEL - FLOOR COVERINGS

CLIENT	
K. J. SHARAN & S. W. WISE	
ADDRESS	
LOT 32 HENDY AVENUE PANANIA NSW 2213	
DESIGN	BOSTON 38
FACADE	HAMPTONS BALCONY
PLAN	FLOOR COVERING PLAN

MATERIAL LEGEND	
	WET AREA TILE
	MAIN FLOOR TILE
	CARPET
	TIMBER FLOOR
	VINYL
	OUTDOOR FLOOR TILE
	OUTDOOR DECKING

NOTE:
TILE PATTERNS, SIZE AND SETOUTS
ARE INDICATIVE ONLY AND ARE NOT
TO BE USED FOR ANY OTHER PURPOSE

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PROPRIETOR SIGNATURE	PROPRIETOR SIGNATURE
BUILDERS SIGNATURE	

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SHEET NUMBER:	14 of 15

BASIX® commitments

Assessor

Mr. Daniel Warda

Date

30 / 05 / 23

BASIX Certificate No.

1387269S

NatHERS Certificate No.

0008601775-01

Project details

Site Address

Lot 32, 15 Hendy Avenue, Panania NSW 2213

Municipality

Canterbury-Bankstown

Reference

34958

Thermal Comfort

Floors

225mm Waffle pod slab

Ceiling Between Floors

N/A

External Walls

R2.0 Bulk Insulation (Excl. Garage) + Sarking to all external walls | Medium

Internal Walls

R2.0 Bulk Insulation to Garage Internal walls

Ceilings

R3.5 Bulk Insulation to all trussed ceilings (excl. Outdoor Areas)

Roof

Colorbond | Dark

Roof Insulation

Sarking

Windows:

ABL Awning Windows (Aluminium Framed - Single Glazed 4mm Clear)

U-Val:0.5700.65

ABL Sliding Windows (Aluminium Framed - Single Glazed 3mm Clear)

U-Val:0.5800.78

ABL Sliding Door (Aluminium Framed - Single Glazed 4mm Clear)

U-Val:0.5800.72

ABL Fixed Windows (Aluminium Framed - Single Glazed 3mm Clear)

U-Val:0.5700.77

Refer to NatHERS Certificate for location and dimensions of windows.

Skylights

N/A

Water

Landscaping Area

250m²

W.C's

4 star

Kitchen Taps

3 star

Shower Heads

3 star (> 4.5 but <= 6 Lit/min)

Basin Taps

3 star

Alternative Water

3000L Rainwater Tank

Roof Water to Tank

80m²

All Water Uses

Garden Tap, Laundry & WC

Energy

Hot Water

Gas Instantaneous | 6 star

Air-Con (Heating)

3-Phase Ducted A/C | 3.0 - 3.5

Air-Con (Cooling)

3-Phase Ducted A/C | 3.0 - 3.5

Ventilation

As Per Basis Assessment

PV System

N/A

Cooking

Gas Cooktop & Electric Oven

Drying

Indoor & Outdoor Clothesline

Lighting

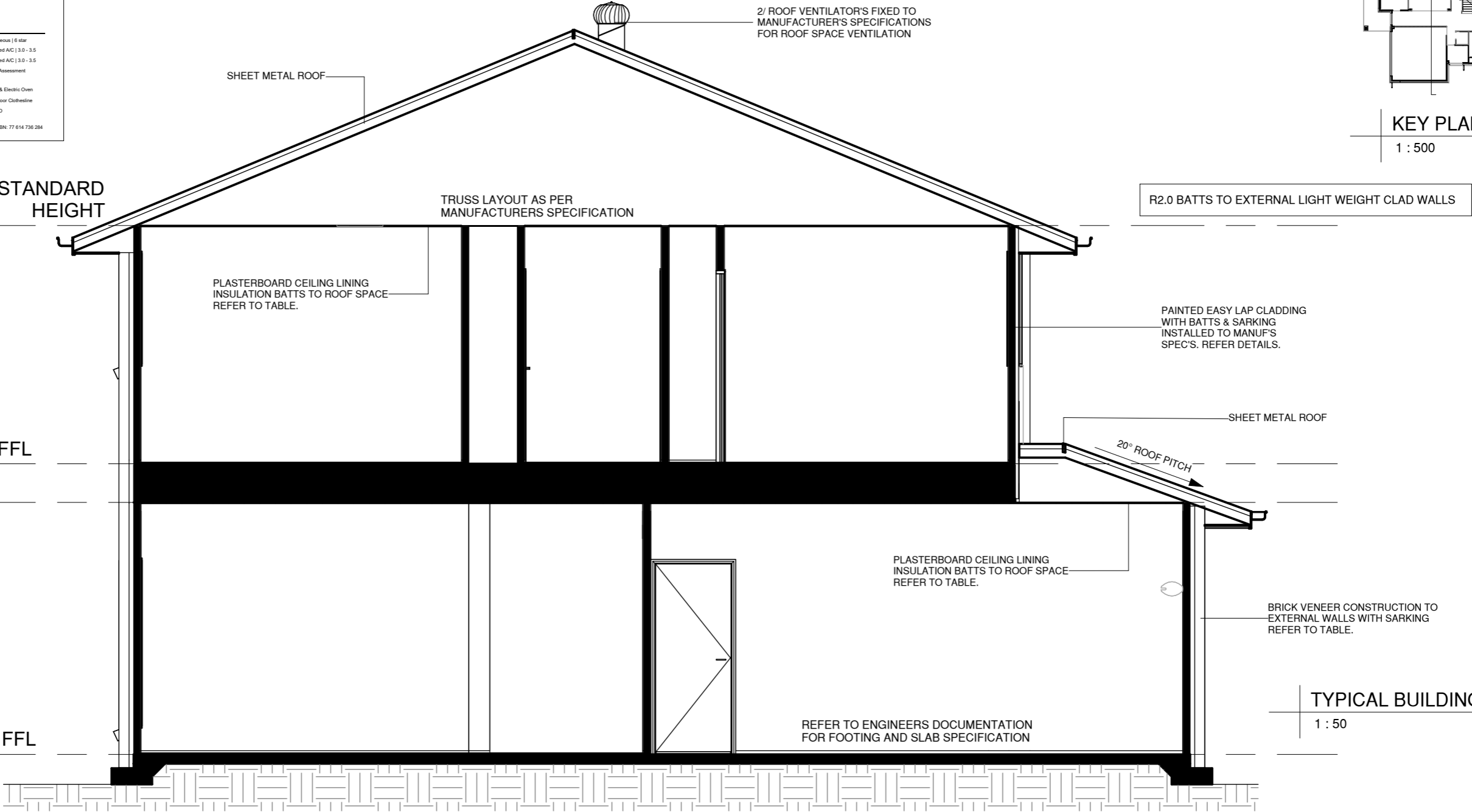
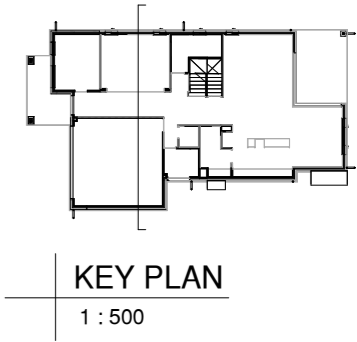
Dedicated LED

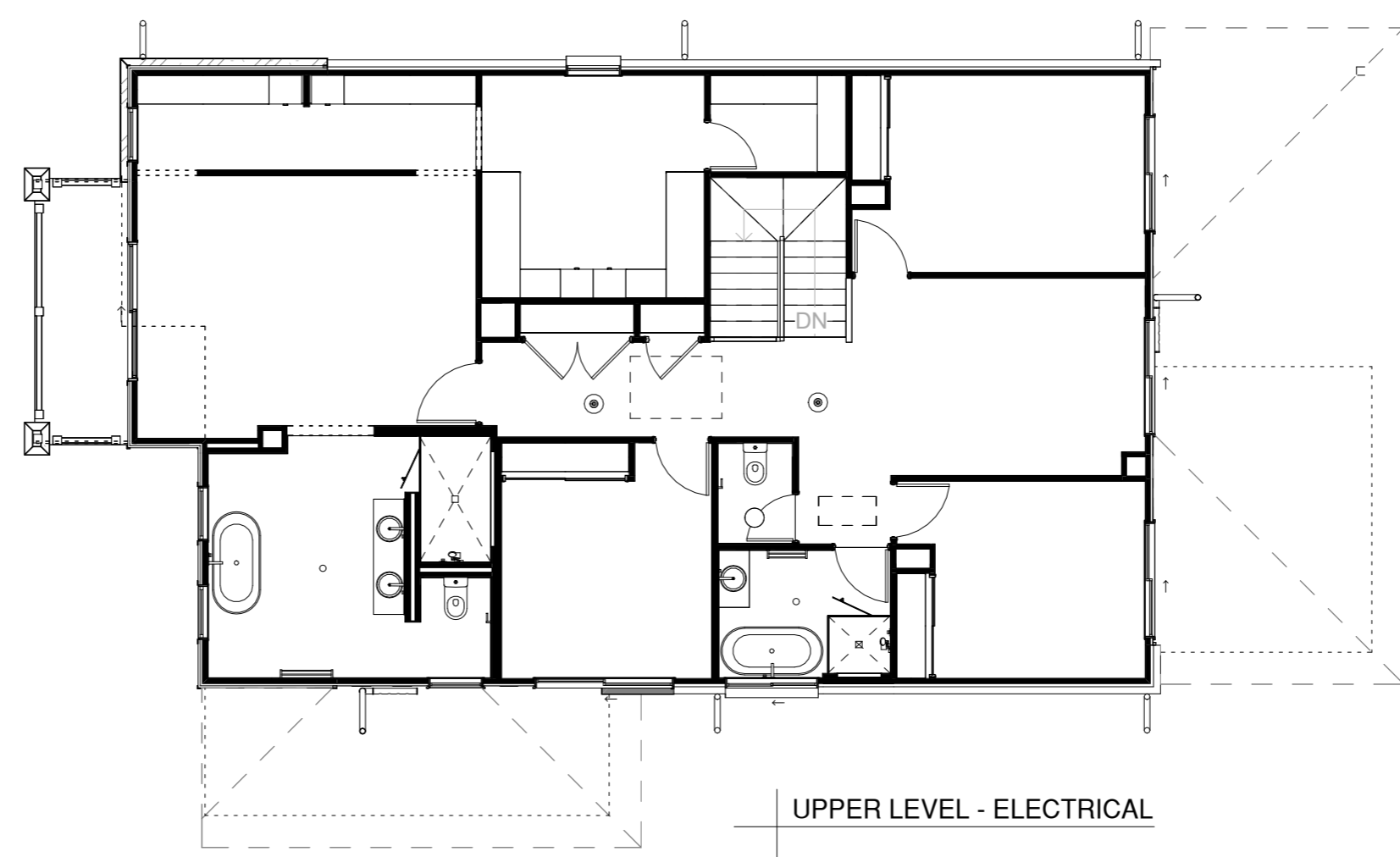
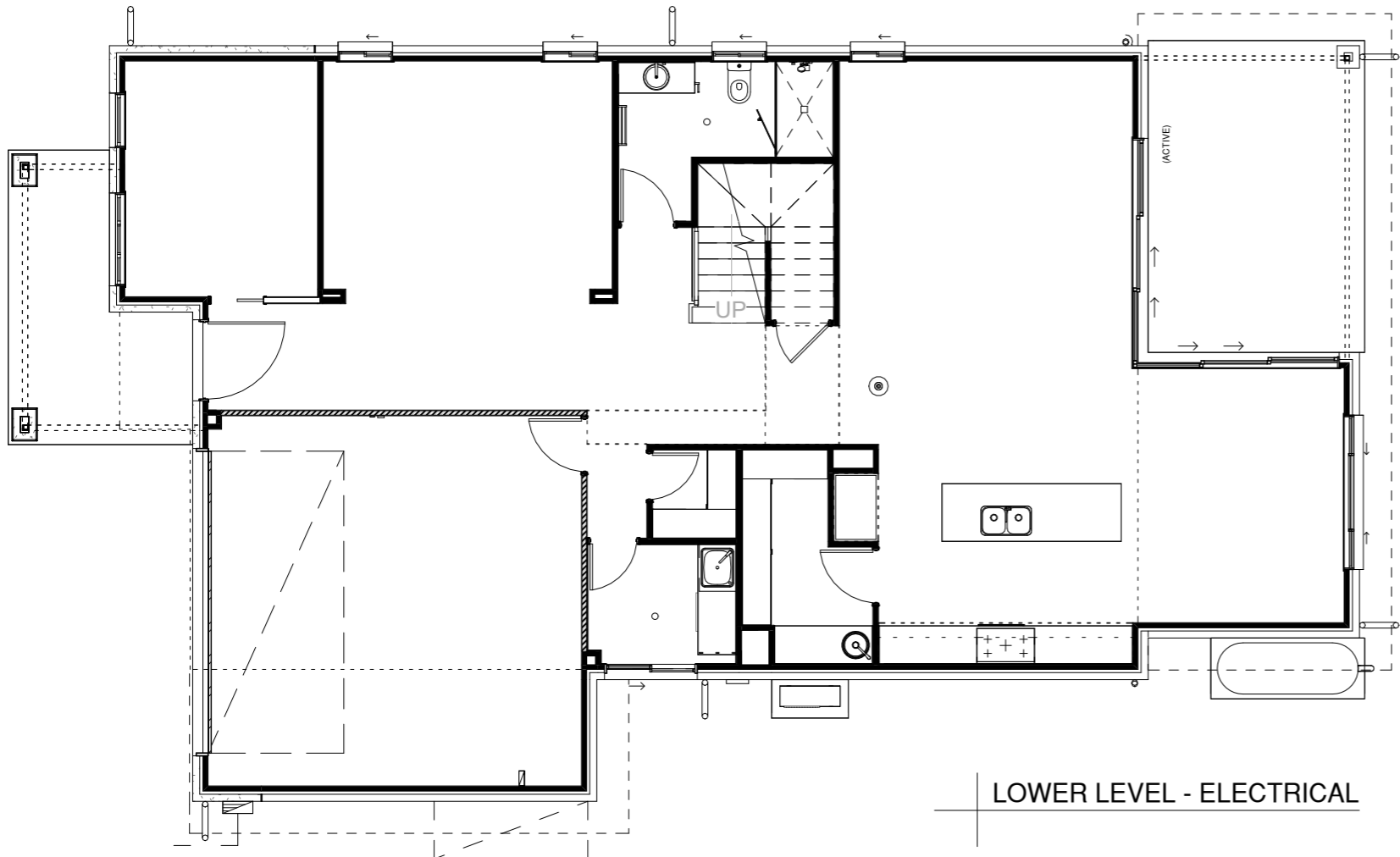
Phone: 0488 203 606

Email: giuseppe@energyassessments.com.au

ABN: 77 614 736 284

INSULATION TABLE	
ROOF	
EXTERNAL WALL	SARKING R2.0 GLASSWOOL BATTS (EXCL. GARAGE)
EXTERNAL CEILING	
INTERNAL CEILING (UNDER ROOF)	R3.5 GLASSWOOL BATTS
INTERNAL CEILING (SUBFLOOR)	
INTERNAL WALL (GROUND)	
INTERNAL WALL (UPPER)	





CLIENT	
K. J. SHARAN & S. W. WISE	
ADDRESS	
LOT 32 HENDY AVENUE PANANIA NSW 2213	
DESIGN	BOSTON 38
FACADE	HAMPTONS BALCONY
PLAN	ELECTRICAL PLAN

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